



CITY OF SEASIDE PLANNING COMMISSION AGENDA

Tuesday, January 2, 2024

To provide public comment for Planning Commission meetings, participants should register prior to the meeting. Please complete the form linked below to offer public comment at an upcoming Planning Commission meeting. You may provide public comment using the following methods:

1. In-person (meetings are held at Seaside City Hall, 989 Broadway, Seaside, OR)
2. Via Zoom web conference or telephone (obtain link and register at cityofseaside.us)
3. Written comments may be submitted using this [form](#), via e-mail to publiccomment@cityofseaside.us or in person at City Hall (989 Broadway, Seaside, OR).

If you are providing public comments in person or via Zoom, please keep in mind your comments will be limited to three (3) minutes. If your comments are longer than three (3) minutes, please submit your comment in writing and utilize your three (3) minutes to summarize your written document. Please review the [Public Comment Rules of Conduct](#) prior to the meeting.

PLANNING COMMISSION MEETING: 6:00 PM

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF MINUTES**
5. **DECLARATION OF POTENTIAL CONFLICT OF INTEREST**
6. **PUBLIC HEARING**
 - a) **769-23-000074-PLNG:** A conditional use request by Aaron Fausett to turn the building located at 821 Broadway St. (T6-R10-21AD-11401 & 12400) into a restaurant with a 6-unit hotel on the upper floors.
7. **OTHER BUSINESS:** Election of Officers – Current Chair, Robin M., Vice Chair Kathy K.
 - a) **Planning Commission Chairperson:** Open nominations, Close nominations, Vote
 - b) **Planning Commission Vice Chairperson:** Open nominations, Close nominations, Vote
8. **ORDINANCE ADMINISTRATION**
 - a) **Garage Door Height Determination**
9. **PUBLIC COMMENTS** Members of the public may use this time to provide comment to the Planning Commission on items that are not scheduled on this agenda for a public hearing or public comment. Speaking time is limited to three minutes.
10. **COMMENTS FROM CITY STAFF**
11. **COMMENTS FROM THE COMMISSION**
12. **ADJOURNMENT**

Complete copies of the Current Commission meeting Agenda, Packets, and Minutes can be viewed at: cityofseaside.us.

All meetings other than executive sessions are open to the public. When appropriate, the presiding officer may recognize any public member desiring to address the Commission. Remarks are limited to the question under discussion except during public comment. This meeting is handicapped accessible. Please let us know at 503-738-7100 if you will need any special accommodation to participate in this meeting.



CITY OF SEASIDE PLANNING COMMISSION

MEETING MINUTES

City Hall, 989 Broadway, Seaside, OR 97138

Tuesday, November 7, 2023

Planning Commission Meeting

I. Call to Order and Pledge of Allegiance

II. Roll Call

Council Members	P/A
Robin Montero, Chairperson	P
Kathy Kleczek, Vice Chairperson	P
Brandon Kraft	P
Lou Neubecker	A
Gretchen Stahmer (ZOOM)	P
Chris Rose	P
Don Johnson	P

Staff Members	
Jeff Flory, Community Development Director	Jordan Sprague, Code Compliance Official
Anne McBride, Emergency Preparedness Manager & Grant Writer	Debbie Kenyon, Community Development Administrative Assistant

Visitors in Chambers (attendance sheet)	Visitors on Zoom
George Tobey	
Irene & Eric Rathman	
Vincent Laccardo	
Erin Barker	
John Carter	
Emily Henggeler	
Sayee Gurumurthy	
Sridevi Rajaro	

III. Approval of Minutes

October 3, 2023 minutes were adopted as written.

IV. Declaration of Potential Conflict of Interest

There were none

V. Public Hearings

769-23-000045-PLNG: A conditional use request by J & E Homes LLC for a three (3) bedroom Vacation Rental Dwelling at 440 Ave G (T6-R10-21-AC17204) with a maximum occupancy of nine (9) persons over the age of three, no more than ten (10) persons regardless of age.

Community Development Director Flory presented the staff report, decision criteria findings, condition, and conclusions.

Emily Henggeler, applicant, spoke on behalf of the application.

Chair Montero opened the discussion to those in opposition. There were none.

Chair Montero opened the discussion to the Commission.

Commissioner Rose expressed concerns regarding the parking.

Commissioner Johnson expressed concerns with the density.

Commissioner Kraft expressed concerns with the density.

Vice Chair Kleczek expressed concerns that this property does not follow the guidelines of the Comprehensive Plan.

Chair Montero expressed concern regarding the density and that this property does not follow the guidelines of the Comprehensive Plan.

Motion:	Motion to Deny 769-23-000045-PLNG Based upon the Planning Commission policies.			
Moved:	Kleczek			
Seconded:	Johnson			
Ayes:	Rose, Montero, Stahmer, Kraft	Nays: 0	Absent: Neubecker	Recused: 0
Passed:	6-0			

769-23-000067-PLNG: A conditional use request by George H & Kathleen A Tobey for a two (2) bedroom Vacation Rental Dwelling at 1518 S Downing (T6-R10-21DC02601) with a maximum occupancy of six (6) persons over the age of three, no more than ten (10) persons regardless of age.

Community Development Director Flory presented the staff report, decision criteria findings, condition, and conclusions.

George Tobey, applicant, spoke on behalf of the application.

Chair Montero opened the discussion to those in favor. There were none.

Chair Montero opened the discussion to those in opposition.

John Carter, neighbor, expressed concerns regarding the parking.

Chair Montero asked if Mr. Tobey wanted to rebut. Mr. Tobey stated that there are two off street parking spaces. One in the garage and one in front of the garage.

Chair Montero opened the discussion to the Commission.

Commissioner Johnson stated that there are more restrictions on Vacation Rentals than residents.

Commissioner Kraft confirmed that there were 2 parking spaces.

Vice Chair Kleczek expressed concerns regarding parking in the garage.

Chair Montero stated that the garage will be measured to make sure that there is enough room for parking, and that two bedrooms will have a maximum occupancy of 6 people.

Motion:	Motion to approve 769-23-000067-PLNG with the conditions provided in the staff report and amend the occupancy for a total of 6 people, and giving the planning director the authority to require modifications to the parking plan.			
Moved:	Kleczek			
Seconded:	Kraft			
Ayes:	Rose, Montero, Stahmer, Johnson	Nays:	Absent:	Recused:
		0	Neubecker	0
Passed:	6-0			

769-23-000076-PLNG: A conditional use request by Sayee Gurumurthy and Sridevi Rajarao for a one (1) bedroom Vacation Rental Dwelling at 2216 S Downing (T6-R10-28BA-04500) with a maximum occupancy of three (3) persons over the age of three, no more than five (5) persons regardless of age.

Community Development Director Flory presented the staff report, decision criteria findings, condition, and conclusions.

Sayee Gurumurthy and Sridevi Rajarao, applicants, spoke on behalf of the application.

Chair Montero opened the discussion to those in favor.

Erin Barker, spoke in favor of the application.

Chair Montero asked if there was any one else in favor of the application. There were none.

Chair Montero opened the discussion to those in opposition.

Irene and Eric Rathmann spoke in opposition to the application.

Chair Montero opened the discussion to the Commission.

Commissioner Rose stated sidewalks and driveways are built to the public works standards.

Chair Montero asked Mr. Flory who is in charge of making sure the sidewalks and driveways are built correctly. Mr. Flory stated public works.

Vice Chair Kleczek expressed concerns regarding the landscaping, sidewalks and the bedroom.

Chair Montero expressed concerns regarding the size of the bedroom, and asked the applicant if anything has been done to the property. Mr. Gurumurthy stated nothing has been done since they purchased the property but, the previous owner did remodel the interior of the home and the bedroom does have heat.

Motion:	Motion to approve 769-23-000076-PLNG with the conditions provided in the staff report. With the additional conditions of a maximum occupancy of 3, the bedroom is of legal size and has heat, and the sidewalk and driveway will be inspected by public works.			
Moved:	Kraft			
Seconded:	Rose			
Ayes:	Montero, Kleczek, Stahmer, Johnson	Nays:	Absent:	Recused:
		0	Neubecker	

Passed:	6-0
---------	-----

VI. Ordinance Administration

There was none.

VII. Public Comments

Vincent Laccardo expressed concerns that the Chair did not ask if there was anyone else in favor of the request for 769-23-000045-PLNG (440 Ave G). Vincent stated that at the time a moratorium was put on vacation rentals there were 370 of them and 1280 vacant homes that had no water usage. The housing crisis that we have is not a direct correlation to the vacation rentals that provides income to the city. It is a second home to the upper class purchasing this real estate and holding on to it and taking away affordable housing. There are plenty of regulations for people living in homes 29 days or less than but nothing in regards to homes where people are living in for over 30 days. People are living in tinder boxes that burn to the ground. We need ordinances for long term rentals as well as short term rentals. He also expressed concerns regarding his wife's mobile business and would like better clarification.

VIII. Planning Commission and Staff Comments

Mr. Flory stated that there will be a work session November 21st in the council chambers at 5pm regarding deed restrictions.

IX. Adjournment at 6:51 PM.

Approved by Commission on: _____

Minutes prepared by: _____
Debbie Kenyon, Administrative Assistant

ROBIN MONTERO, Chairperson



APPLICATION(S):	769-23-000074-PLNG – Conditional Use
MEETING DATE:	January 2, 2024
PUBLIC HEARING:	Yes
Report Date:	December 26, 2023
Applicant:	Aaron Fausett
Owner:	Anna Kaloumenou
Location:	821 Broadway St., Seaside OR 97138
Major Street Access:	Broadway St.
Parcel Number(s) & Size:	T6-R10-21AD-11401 & 12400 .18 Acres
Parcel Zoning:	Central Commercial (C-4)
Adjacent Zoning:	Central Commercial (C-4)
Current Use of Parcel:	Vacant Building and Parking Lot
Adjacent Uses:	Commercial Restaurants and Retail
Previous Meetings:	None
Previous Approvals:	None
Type of Action:	Quasi-Judicial
Land Use Authority:	Planning Commission
Future Routing:	None
Planner:	Jeff Flory, Community Development Director

A. Summary:

A conditional use request by Aaron Fausett to turn the building located at 821 Broadway into a restaurant with a 6-unit hotel on the upper floors.

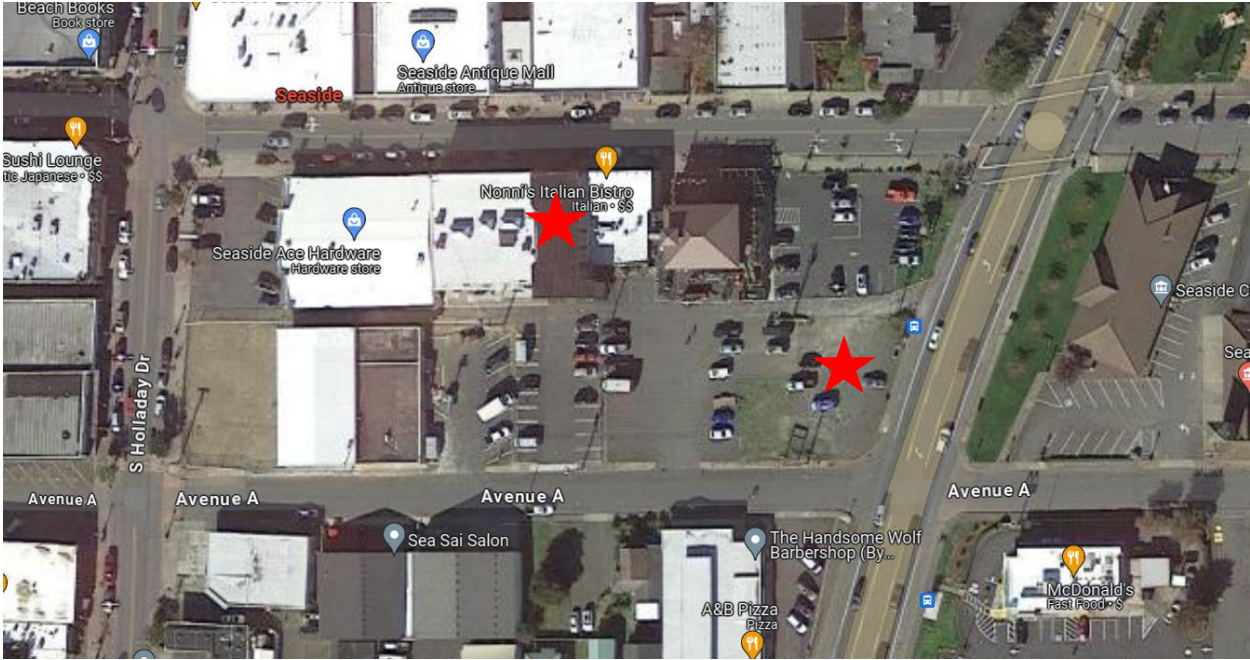
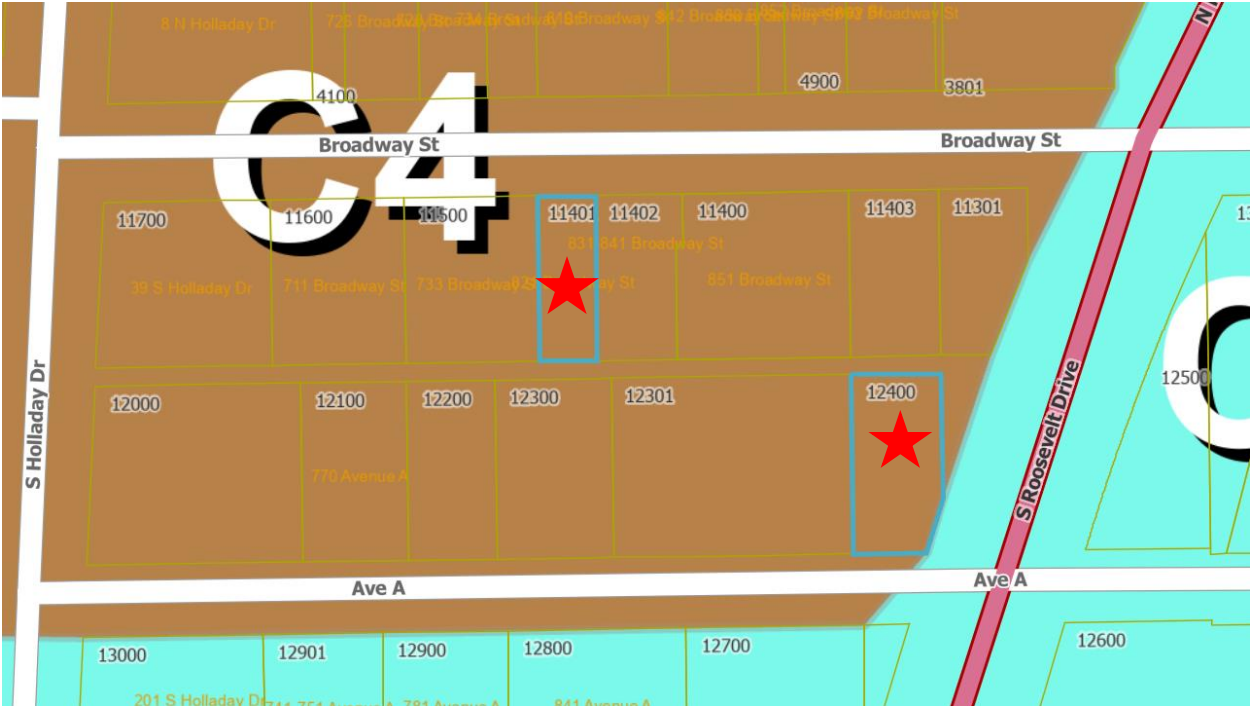
Staff Recommendation:

Staff recommends the Planning Commission conduct a public hearing on the application, take public comments, and review and discuss the request. Unless submitted comments or other clarifications or justifications are needed, staff recommends the Commission adopt the findings, justification statements, and conclusions in this report and approve the applicant's request subject to the listed conditions.

B. Exhibits:

- 1. Applicant Submittals**
- 2. Site Plans**
- 3. ODOT Public Comment**

Location: 821 Broadway St. Seaside, OR (T6-R10-21AD-11401 & 12400)



Jeff Flory, Community Development Director
jflory@cityofseaside.us
989 Broadway, Seaside, OR 97138
(503) 738-7100

C. Background:

This applicant's property is located on Broadway between Hwy 101 and S. Holladay. The building is currently vacant and being redeveloped into a restaurant with a 6-unit hotel on the upper floors.

The applicant owns a parking lot approximately 135ft to the east that is adjacent to Hwy 101. The applicant has easement access to two parking spaces adjacent to the building in the alleyway and space to develop at least 6 additional parking spaces within the parking lot. Both lots are located in the General Commercial (C-4) zone.

D. Required Dates:

This application was accepted as complete on December 13, 2023. The 120-day decision timeframe is April 11, 2024.

E. Specific Request:

A conditional use request to turn the building located at 821 Broadway St. into a restaurant with a 6-unit hotel on the upper floors.

F. Process:

This request is being reviewed under Article 6 and Article 10 of the Seaside Zoning Ordinance. Article 6 establishes the criteria for conditional uses and Article 10 establishes the process and procedures that are applicable to this request.

G. Community Review:

Notice of this public hearing was published in the Daily Astorian on December 13, 2023. Additionally, a mailed notice was sent on December 14, 2023 to all property owners within 100 feet of the subject property.

H. Written Comments:

At the time of this report, staff has received one comment regarding this project. The Region 2 Development Review Coordinator for ODOT, Zdenek Vymazal, submitted the attached e-mail in response to this project. Mr. Vymazal stated ODOT does not have concerns with this development influencing traffic flow on Hwy 101.

I. Comprehensive Plan:

The applicant's property is located within the Central Commercial district. The Comprehensive Plan states this area is the primary central business district of Seaside. The Central Commercial area is located between the General Commercial district and the Resort Commercial district.

The Comprehensive Plan calls for the city to strengthen the downtown area and the Hwy 101 business area as important tourist and commercial centers. The applicant's redevelopment of this building will create restaurant space as well as tourist accommodations within the central business core.

The Comprehensive Plan's economic policies state support should be given to upgrading and revitalizing the Broadway core area and Hwy 101 business area. The applicant's proposed development will create business opportunities within an existing, vacant, building.

J. Zoning Ordinance Criteria for a Conditional Use:

Pursuant to Section 6.031 of the Seaside Zoning Ordinance, all conditional use requests must comply with the specific standards in the zone and other applicable supplementary provisions in Article 4. In permitting a new conditional use or alteration of an existing conditional use; the Planning Commission may impose additional conditions considered necessary to protect the best interests of the surrounding area of the city as a whole. These conditions may include (but are not limited to) the following:

1. **Increasing the required lot size or yard dimension.** *Finding: The existing building will not be expanding and the lot sizes will not change. The zone does not have yard area requirements unless it abuts an "R" zoned property. The applicant's property is surrounded by other commercial businesses.*
2. **Limiting the height of buildings.** *Finding: The applicant is not proposing any alterations to the height of the existing building although the maximum allowable building height in this zone is 75ft.*
3. **Controlling the location and number of vehicle access points.** *Finding: The parking lot will be surfaced and striped so that the access is off of Avenue A with a one-way designation through the exit into the existing alley.*
4. **Increasing the street width.** *Finding: No streets are proposed.*
5. **Increasing the number of required off-street parking spaces.** *Finding: The C-4 zone requires off-street parking for all new buildings. The applicant's existing building does not require off-street parking however, as a conditional approval of the hotel use, parking will be required to be provided for the hotel guests.*
6. **Limiting the number, size, location, and lighting of signs.** *Finding: No signage is proposed. Any signage for the hotel and restaurant use will be have to meet the requirements of the city's Sign Code.*
7. **Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.** *Finding: The applicant's is not proposing fencing or landscaping to separate their properties from the neighboring properties however, the applicant's parking lot will have a curb around the exterior as required by the parking lot standards.*
8. **Designating sites for open space.** *Finding: The applicant's building extends and is connected to the neighboring buildings with not room for open space.*

K. Additional Findings, Conclusions, and Justification Statements:

1. The applicant's submitted justification is adopted by reference and summarized below:

The applicant's proposal is to turn a vacant building into a restaurant/bar space with a small, 6-unit hotel on the upper floors. The proposed redevelopment of the property will increase parking within the district to accommodate hotel guests and employees. The redevelopment of the vacant building and improving the unimproved parking lot will enhance the safety and beauty of the area.

2. The restaurant/bar use is outright permitted within the zone while the hotel use is conditionally permitted.

3. The applicant has provided the minimum parking spaces necessary for the hotel use and will be required to record a deed restriction prohibiting the sale of the parking lot separate from the hotel.
4. The application incorrectly states in the scope section of this project that the applicant is intending to install 13 parking spaces for this development. Upon review, the original parking lot design did not meet ordinance criteria for that amount of parking spaces. The applicant's revised design shows a 6-space parking lot with two additional existing spaces adjacent to the building. The applicant has a total of 8 parking spaces for the proposed use.

L. Conclusion:

The ordinance requirements have been adequately addressed by the applicant and the request can be approved subject to the following list of special and standard recommended conditions of approval.

M. Recommended Conditions:

Condition 1: Minor modifications to the applicant's proposed plan must be reviewed and approved by the Planning Director. These could be required to comply with other code issues applicable to the request or reduce impacts to the neighboring property. Any major changes or conflicts over a proposed modification will be reviewed with the Planning Commission before any final approval.

Condition 2: The applicant's final development plans must show that all exterior lighting fixtures will be designed to eliminate glare in accordance with the City's outdoor lighting ordinance. Any signage for the proposed restaurant and hotel is required to meet the provisions of the city's sign ordinances.

Condition 3: The applicant and property owner are required to record a deed restriction that prohibits the sale of the parking lot independently from the building unless the hotel use is abandoned. The applicant is required to record this restriction before the final Certificate of Occupancy can be approved for the hotel. A copy of the recorded deed restriction will be provided to the Community Development Department and kept on file for future reference.

Condition 4: The applicant will need to provide signage to ensure the parking lot is reserved strictly for guests of the hotel to prevent the hotel guests from taking up parking along Broadway and in adjacent neighborhoods.

N. Recommendation and Alternatives:

Staff Recommendation:

Staff recommends the Planning Commission conduct a public hearing on the application, take public comments, and review and discuss the request. Unless submitted comments or other clarifications or justifications are needed, staff recommends the Commission adopt the findings, justification statements, and conclusions in this report and approve the applicant's request subject to the listed conditions.

Alternative 1:

The Planning Commission may choose to continue this request to the regularly scheduled February 6, 2024, Planning Commission meeting to allow the Commission time to review submitted evidence or to allow the applicant, other affected parties, and

the public, additional time to review or submit further evidence, rebuttals, or justifications.

Alternative 2:

The Planning Commission may choose to hold the public hearing and review additional submitted comments or evidence. If new evidence justifies the denial of the applicant's request, the Planning Commission could move to deny this application.

The information in this report and the recommendation of staff is not binding on the Planning Commission and may be altered or amended during the public hearing.



Community Development Land Use Application

Mailing: 989 Broadway Seaside, OR 97138
 Location: 1387 Avenue U, Seaside, OR 97138

E-mail: edadmin@cityofseaside.us
 Office: (503) 738-7100

Applicant Information:					
Name of Applicant		Address			Zip Code
Anna Kaloumenou		1515 Baranof St., Kodiak, AK			99615
Street Address or Location of Property					
821 Broadway, Seaside, OR 97138					
Zone	Overlay Zone	Township	Range	Section	Tax Lots
C4		6	10	21A	11401 and 12400

Owner:		Applicant/Representative Other than Owner:	
Name Anna Kaloumenou		Name of Applicant/Representative Aaron Fausett	
Address 1515 Baranof St., Kodiak, AK 99615		Address PO Box 194, Warrenton, OR 97146	
Phone 907-654-7414		Phone 503-298-0224	
Signature 		Signature 	

Proposed Use: 2-story bar/restaurant with a (6) unit hotel on 3rd floor; (b) space paved parking lot

Existing Use: Vacant 3-story building; unimproved gravel parking

Site Plan:

Please attach a site plan of the property showing lot dimensions, sizes, and locations of all existing and proposed structures. The site plan must show the structure's setbacks to all property lines as well as access to the site and the parking area layout. Site plans must be drawn to scale and show the needed information pertinent to the request. Parking Maps for VRDs must have scaled dimensions showing the location of required 9'x18' car spaces.

Specific of Request:			
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Non-conforming	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Zoning Code Amendment
<input type="checkbox"/> Landscape/Access Review	<input type="checkbox"/> Planned Development	<input type="checkbox"/> Temporary Use	<input type="checkbox"/> Zoning Map Amendment
<input type="checkbox"/> Major Partition	<input type="checkbox"/> Property Line Adjustment	<input type="checkbox"/> Vacation Rental	<input type="checkbox"/> Appeal
<input type="checkbox"/> Minor Partition	<input type="checkbox"/> Setback Reduction	<input type="checkbox"/> Variance	<input type="checkbox"/>

For Office Use Only	
Application Received: 09/1/23	File Number: 769-23-000074 -PLNG
Application Deemed Complete: 12/13/23	120-Day Decision: 04/11/24
Staff Decision (Type 1) <input type="checkbox"/>	PC Decision (Type 2) <input checked="" type="checkbox"/>

Revised 09/23



Community Development

Hwy 101 Overlay Zone

Please describe the scope of your project.

To gain the ability to add drainage, asphalt paving, lot striping, sidewalks and vehicular ingress/egress to an existing unimproved gravel parking lot with no definitive vehicular flow. The parking lot will provide (13) spaces for the (6) unit hotel guests, restaurant customers and company employees.

The Planning Commission will do a site review of all proposed developments within 200' of Roosevelt Drive (Highway 101) whenever they cause a significant number of vehicle trips. For the purpose of this review, a significant number of trips is 30 trips per day or 5 trips per hour. This review is intended to determine compliance with the City of Seaside Transportation System Plan and consider the impacts of the development on the traffic carrying capacity and safety of Hwy 101.

The City of Seaside and the State Highway Division shall cooperate during the review of the proposed development to ensure the standards of the Overlay Zone are upheld. Certain actions will require the additional submittal of a Traffic Impact Analysis (TIA) in accordance with Section 3.406.1, A & B. These include:

- I. Proposed developments generating vehicle trips that equal or exceed 600 daily trips or 100 hourly trips; or
- II. Proposed zone changes or comprehensive plan changes; or
- III. An onsite review by the Oregon Department of Transportation Region Manager, or authorized designee, indicates that operational or safety problems exist or are anticipated at the development property.

Daily Trips: 49 Hourly Trips: 3 AM 4 PM

Does your proposed development require the additional submittal of a Traffic Impact Analysis (TIA)? Yes No



Community Development

Conditional Use – Type 2

In certain districts, conditional uses may be permitted subject to the granting of a Conditional Use Permit. Because of their unusual characteristic, or special characteristics of the area in which they are to be located, conditional uses require special considerations so they may be properly located with respect to the Comprehensive Plan and to the objectives of this Ordinance.

The Planning Director shall have the authority to approve, approve with conditions, or disapprove Conditional Use Permits in accordance with the provisions in Article 6 of the Seaside Zoning Ordinance.

In addition to those standards and requirements expressly specified by the Ordinance, the Planning Director may impose conditions, which are necessary to protect the best interests of the surrounding area or the city as a whole. These conditions may include the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height of buildings.
3. Controlling the location and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking spaces.
6. Limiting the number, size, location, and lighting of signs.
7. Requiring diking, fencing, screening, landscaping, or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

The Planning Director will make a determination concerning a conditional use based on the applicant's justification of the following statements or questions. The applicant must provide sufficient information to the following statements or questions for this application to be accepted as complete.

1. What is the scope of your project?

SEE ATTACHED

2. What is the proposed use in the zone?

SEE ATTACHED

3. How will the development conform to the general development standards in the Seaside Zoning Ordinance and the specific standards in the zone?

SEE ATTACHED

4. How will the development meet any of the applicable standards in [Article 6](#) of the Seaside Zoning Ordinance?

NOT APPLICABLE

5. Describe any additional measures (if any) the applicant will take in order to protect the interests of the surrounding area or the city as a whole.

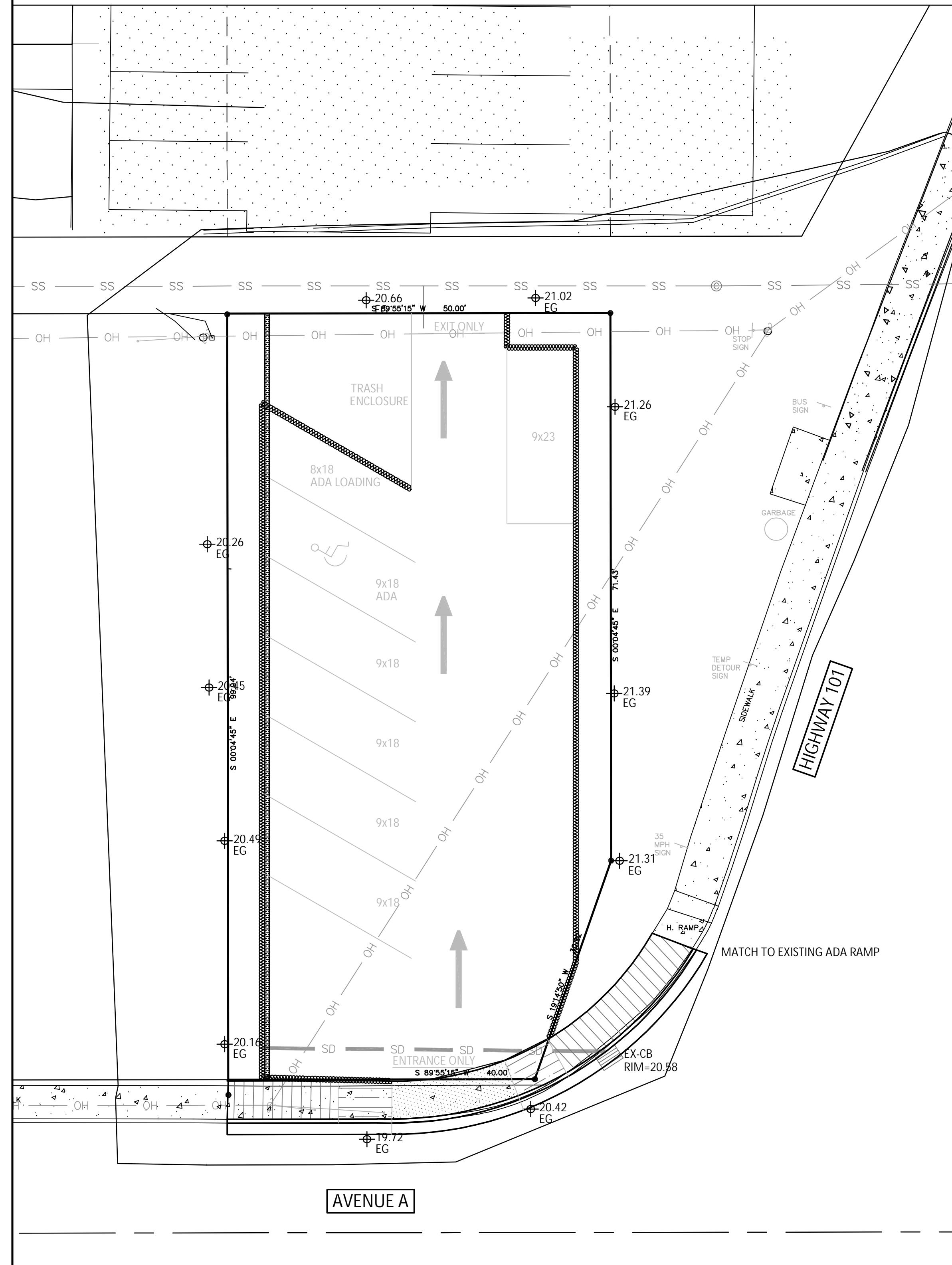
SEE ATTACHED

6. Provide a site plan, drawn to scale, which indicates the following: the actual shape and dimensions of the lot, the sizes and locations of buildings and other structures (existing & proposed), the existing and intended use of each building (include floor plans), and other information need to determine conformance with the development standards in the ordinance (e.g. setbacks, parking spaces, fences, accesses, landscaping, neighboring buildings, or uses, etc.)

Attach Additional Sheets if Necessary

The purpose of our application is to gain the ability to remodel and operate a two-story bar/restaurant with a 6-room hotel on the third level of an existing three-story building located at 821 Broadway, Seaside. The bar/restaurant is an outright permitted use for the C-4 zone. The hotel is a conditional permitted use for the C-4 zone. The existing building currently has two established off-street parking spaces and is proposing to build a parking lot with 6 additional parking spaces within 200' of the hotel entrance at the rear of the building. Emergency exit routes and a map of the parking location will be posted in all hotel rooms. Earthquake procedures and tsunami evacuation routes will be posted in all hotel rooms as well as made available electronically to hotel guests at the time of booking. With the building currently vacant and the unimproved lot being used as gravel parking with no defined spaces or direction of travel, we believe the ability to make these improvements will positively enhance the safety and beauty of the area.

AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
SITE IMPROVEMENTS
HWY 101 & AVENUE A
SEASIDE, CLATSOP COUNTY, OREGON



UTILITY LOCATE ONE CALL
(1-800-332-2344) or (8-1-1)

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

PROPERTY IS TAX LOT 12400, MAP 06N 10W 21 AD.
 A ST AND HWY 101, SEASIDE, OR

BASIS OF ELEVATIONS IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

UTILITIES SERVICE PROVIDERS

OWNER
 AQUAMARINE, LLC
 DBA AQUAMARINE ON BROADWAY
 CONTACT: ANNA KALOUMENOU
 1515 BARANOF STREET
 KODIAK, AK 99615

SURVEYING - 1
 CKI LAND SURVEYING
 PO BOX 2699
 GEARHART, OR 97138
 (503) 738-4320
 ATTN: SCOTT COOTER, PLS

WATER-SEWER-ROADS
 CITY OF SEASIDE
 PUBLIC WORKS DEPT
 1387 AVENUE U
 SEASIDE, OR 97138
 (503) 738-5112

ELECTRICITY
 PACIFIC POWER
 825 NE MULTNOMAH
 PORTLAND, OR 97232
 800-469-3981

NATURAL GAS
 NORTHWEST NATURAL GAS
 176 W MARINE DR
 ASTORIA, OR 97103
 (503) 325-1632

NARRATIVE
 PARKING AREA - REBUILD, GRADE, AND PAVE

DRAINAGE - CURB DRAIN AND CATCH BASIN. CONNECT TO EXISTING CATCH BASIN AT CURB

SIDEWALK - REMOVE FROM RAMP TO EAST PROPERTY LINE. INSTALL NEW SIDEWALK AND DRIVEWAY APRON.

SEE OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION WITH SUPPLEMENTAL CITY GENERAL CONDITIONS AND SPECIAL PROVISIONS.

SHEETS

- C1 - COVER SHEET
- C2 - DEMOLITION PLAN
- C3 - SITE LAYOUT
- C4 - ENTRANCE
- C5 - SIDEWALK DETAILS

LEGEND

- EXISTING**
- PROPERTY LINE
 - SS SEWER LINE
 - W WATER LINE
 - OVERHEAD POWER LINE
 - GAS GAS LINE
 - ASPHALT
 - SIDEWALK
 - POWER POLE
 - FIRE HYDRANT
 - CATCH BASIN
- PROPOSED**
- TRENCH DRAIN, H-20
 - TRAFFIC RATING
 - STORM DRAIN PIPE
 - ASPHALT SLOPE
 - DRAINAGE ROUTE
 - 4" HIGH AC CURB

SCOPE OF WORK

- 8"Ø STORM DRAIN LINE 50 LF
- NDS DURA SLOPE TRENCH DRAIN 100 LF
- CONCRETE CURB & GUTTER 75 LF
- CONCRETE SIDEWALK 75 LF
- ASPHALT PARKING AREA 290 SF
- ASPHALT 3" THICK
- LEVELING ROCK 3" THICK
- BASE ROCK 9" THICK
- FABRIC

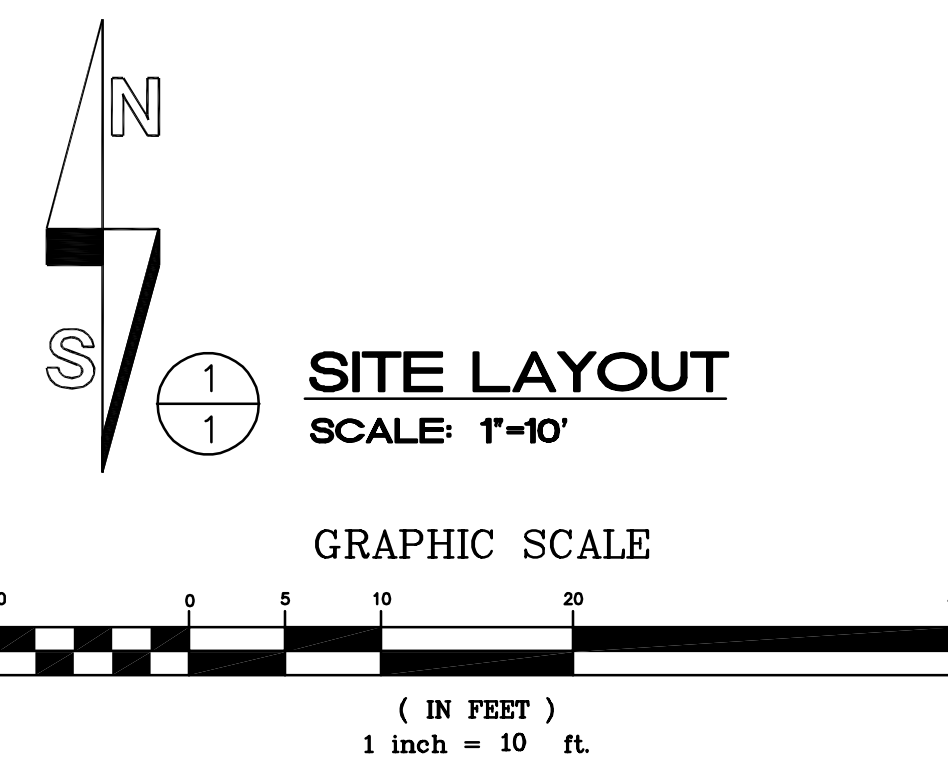
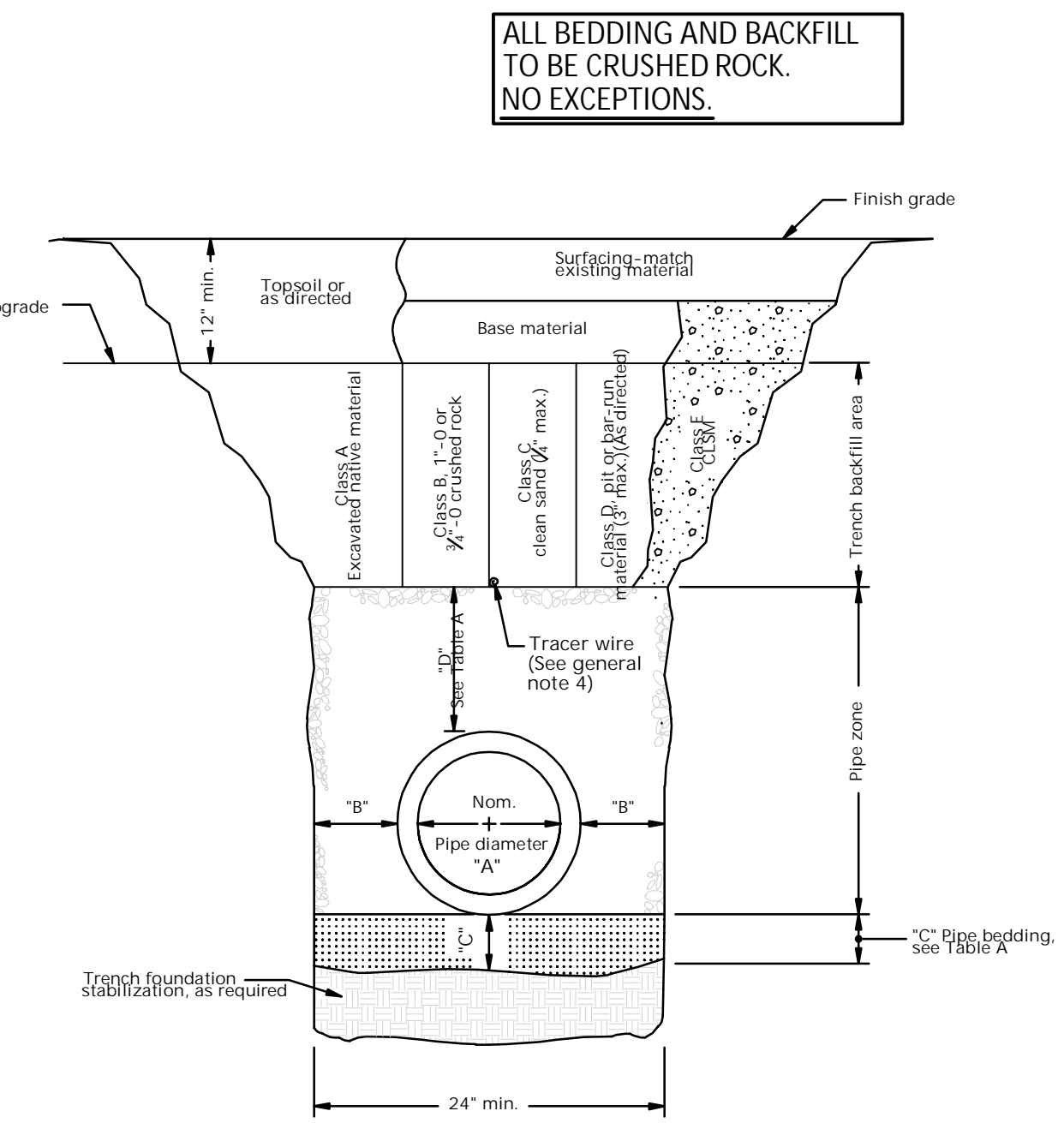


TABLE A

"A" (in)	"B" (in)	"C" (in)	"D" (in)
4	10	4	8
6	10	4	8
8	10	6	10
10	10	6	10
12	12	6	10
15	12	6	10
18	16	6	12
21	16	6	12
24	18	6	12
30	18	6	12
36	24	6	14
42	24	6	14
48	24	6	14
54	24	6	14
60	24	6	14
66	24	6	14
72	24	6	14

For pipes over 72" diameter, see general note 2.



2 TRENCH DETAIL
 NO SCALE

NO.	DATE	DESCRIPTION	BY



MORGAN CIVIL ENGINEERING, INC.

- CIVIL ENGINEERING
 - INSPECTION
 - PLANNING
- PO BOX 358
 MANZANITA, OR 97130
 (503) 801-6016
 www.morgancivil.com



AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
COVER SHEET

SHEET 1 OF FIVE

SEASIDE/MAP 6N 10W 21AD

V:\23-03-AirDwg\AIRRUN-site plan.dwg, cover, 12/6/2023 4:30:18 PM

V:\23-03-AirDwg\AIRRUN-site plan.dwg, demo plan, 12/6/2023 4:30:20 PM

GRAPHIC SCALE

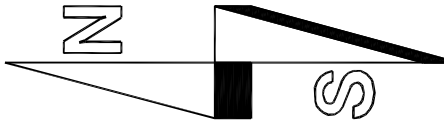


(IN FEET)
1 inch = 5 ft.

1
2

DEMOLITION PLAN

SCALE: 1"=5'



SURVEY MONUMENTS.
COORDINATE WITH SURVEYOR TO REPLACE ALL
MONUMENTS AFTER WORK IS COMPLETED.

LEGEND

- EXISTING
 - PROPERTY LINE
 - SS SEWER LINE
 - W WATER LINE
 - OVERHEAD POWER LINE
 - GAS GAS LINE
 - ASPHALT
 - SIDEWALK
 - POWER POLE
 - FIRE HYDRANT
 - CATCH BASIN
- PROPOSED
 - TRENCH DRAIN, H-20
 - TRAFFIC RATING
 - STORM DRAIN PIPE
 - ASPHALT SLOPE
 - DRAINAGE ROUTE
 - 4" HIGH AC CURB



**MORGAN CIVIL
ENGINEERING, INC.**

PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com

JOB NO.
#23-03-AIR
DATE
DEC. 6, 2023

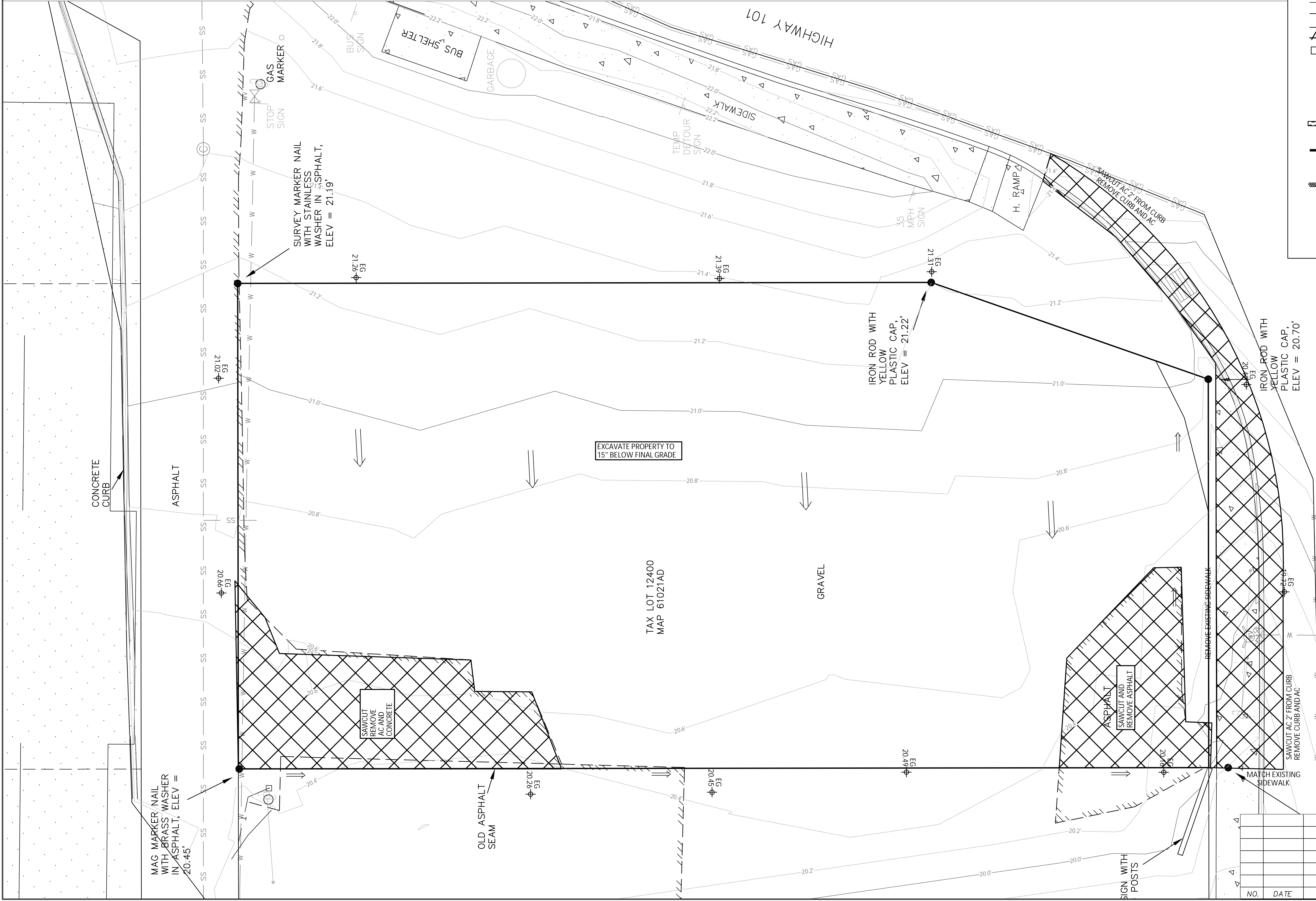


RENEWAL DATE: DECEMBER 31, 2024

AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
DEMOLITION PLAN

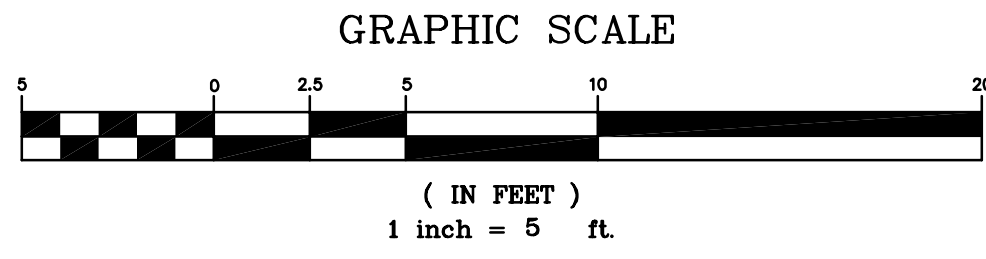
SHEET
2
OF FIVE

SEASIDE/MAP 6N 10W 21AD



NO.	DATE	DESCRIPTION	BY

AVE. "A"



1
3
SITE PLAN
SCALE: 1"=5'

NOTES

1. CONSTRUCT NEW CURB AND GUTTER AND SIDEWALK, INCLUDING RAMPS FOR ENTRANCE. SEE DETAILS SHEET 5.
2. INSTALL NEW TRENCH DRAIN ALONG WEST EDGE OF PROPERTY. FOLLOW MANUFACTURER INSTALLATION METHODS LOADING CLASS D.
3. INSTALL FABRIC, ROCK, AND ASPHALT FOR PARKING AREA. (ENTIRE PROPERTY) SEE DETAILS SHEET 5.
4. STRIPE AS SHOWN.

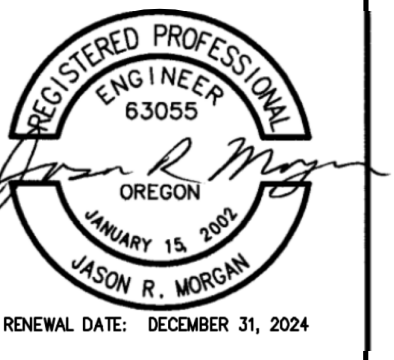
LEGEND

- EXISTING**
- PROPERTY LINE
 - SS SEWER LINE
 - W WATER LINE
 - OVERHEAD POWER LINE
 - GAS GAS LINE
 - ASPHALT
 - SIDEWALK
 - POWER POLE
 - FIRE HYDRANT
 - CATCH BASIN
- PROPOSED**
- TRENCH DRAIN, H-20
 - TRAFFIC RATING
 - STORM DRAIN PIPE
 - ASPHALT SLOPE
 - DRAINAGE ROUTE
 - 4" HIGH AC CURB



MORGAN CIVIL
ENGINEERING, INC.

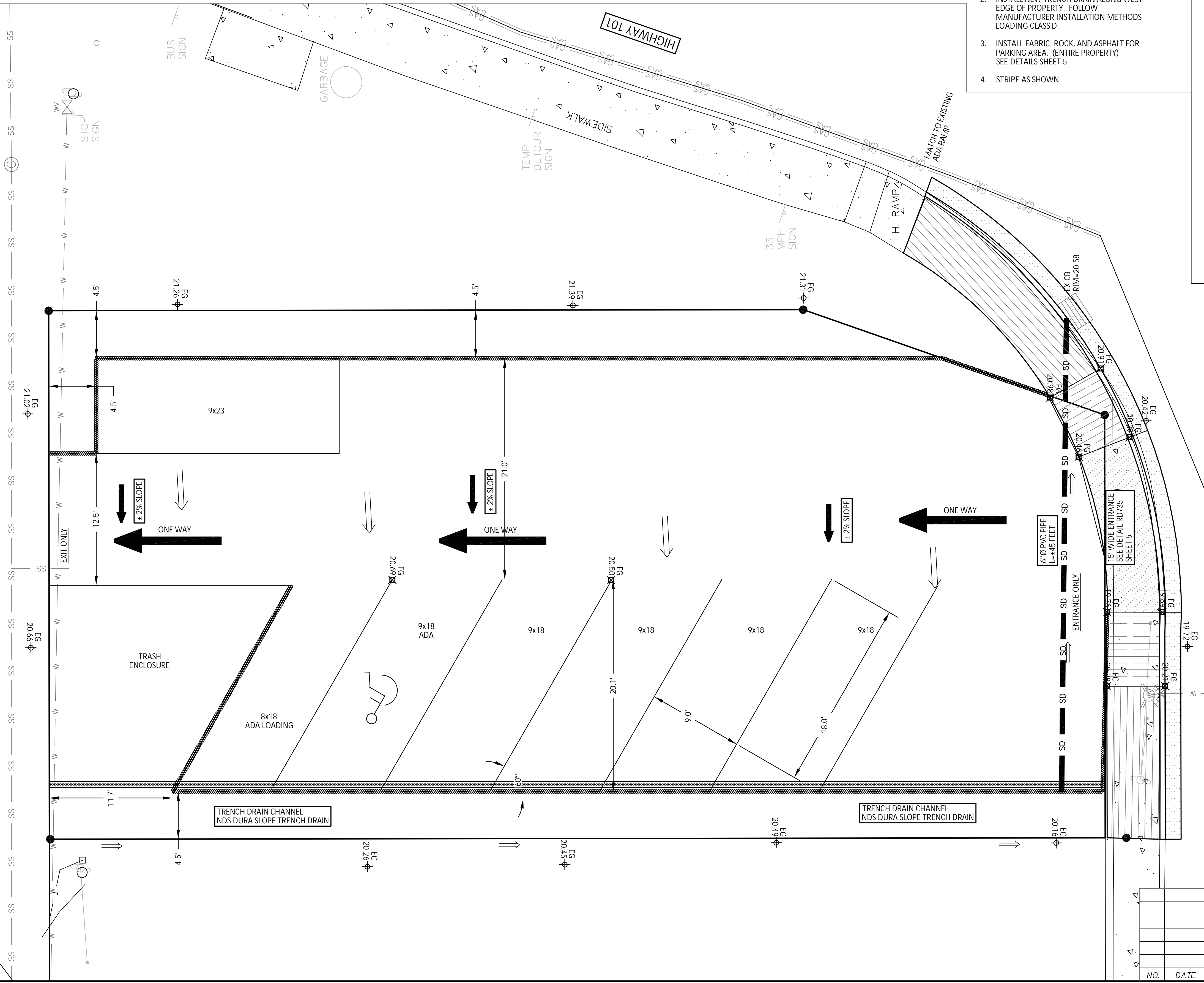
PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com



AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
SITE LAYOUT

SHEET
3
OF FIVE

V:\23-03-AirDwg\AIRRUN-site plan.dwg, layout, 12/6/2023 4:30:25 PM



NO.	DATE	DESCRIPTION	BY

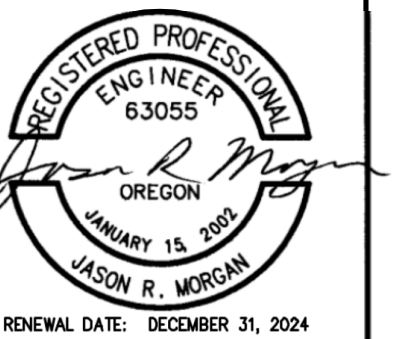
SEASIDE/MAP 6N 10W 21AD



**MORGAN CIVIL
ENGINEERING, INC.**

PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com

JOB NO.
#23-03-AIR
DATE
DEC. 6, 2023

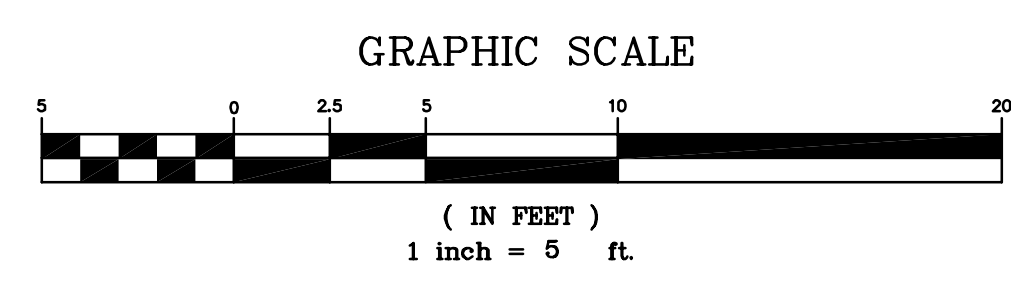
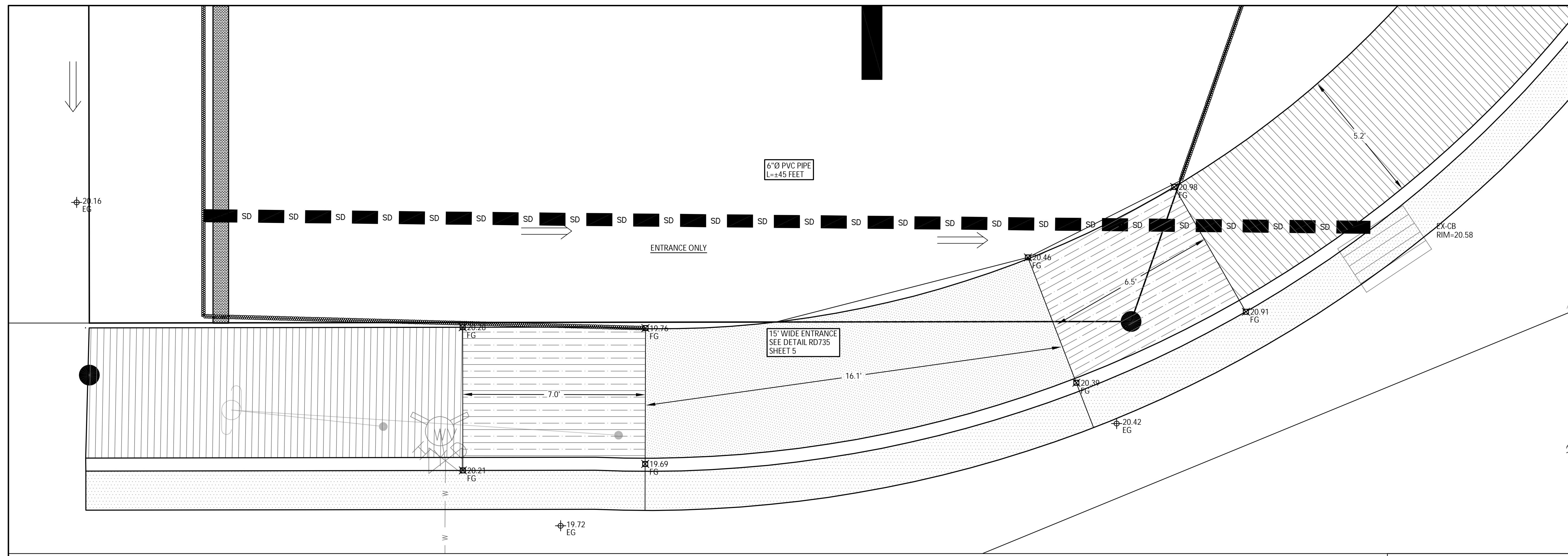


RENEWAL DATE: DECEMBER 31, 2024

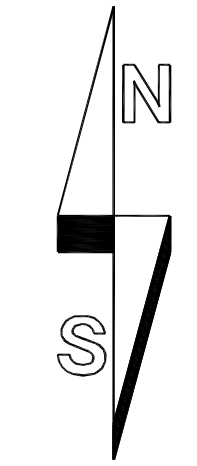
AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
ENTRANCE LAYOUT

SEASIDE/MAP 6N 10W 21AD

SHEET
4
OF FIVE



DRIVEWAY ENTRANCE
SCALE: 1"=2'

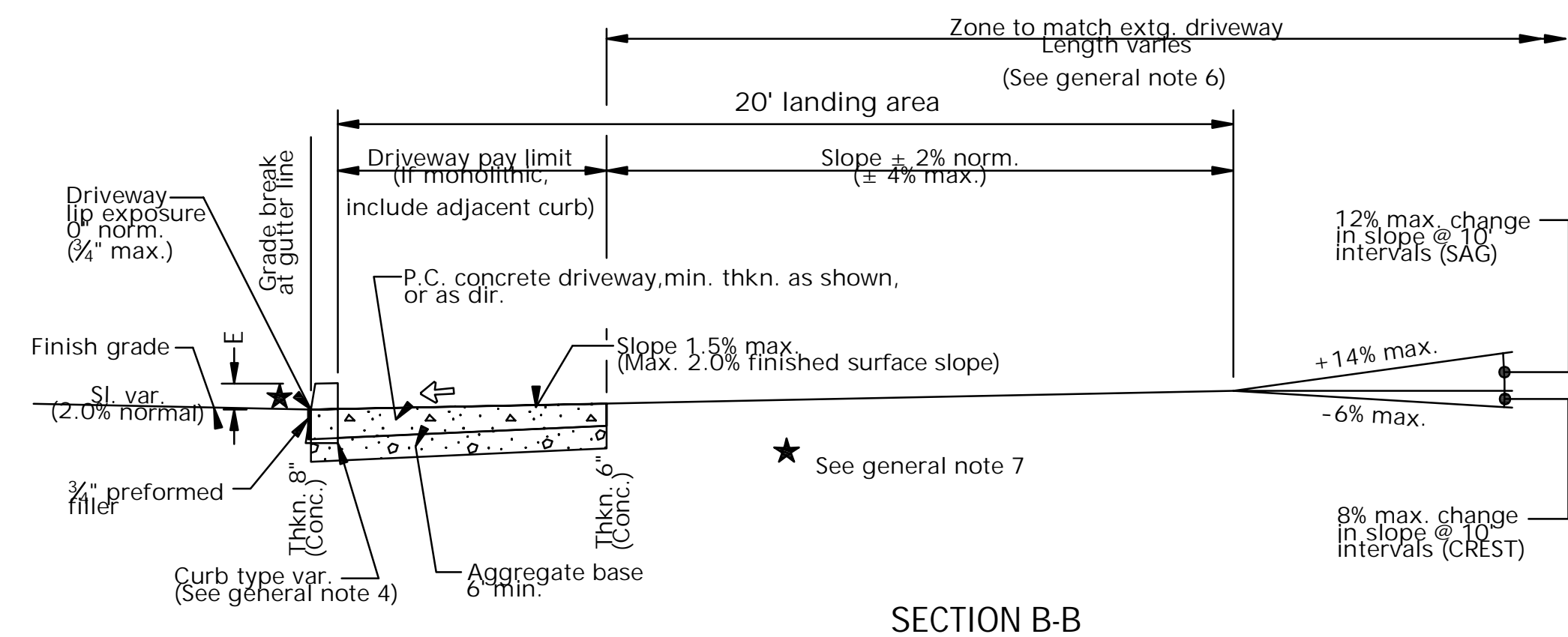
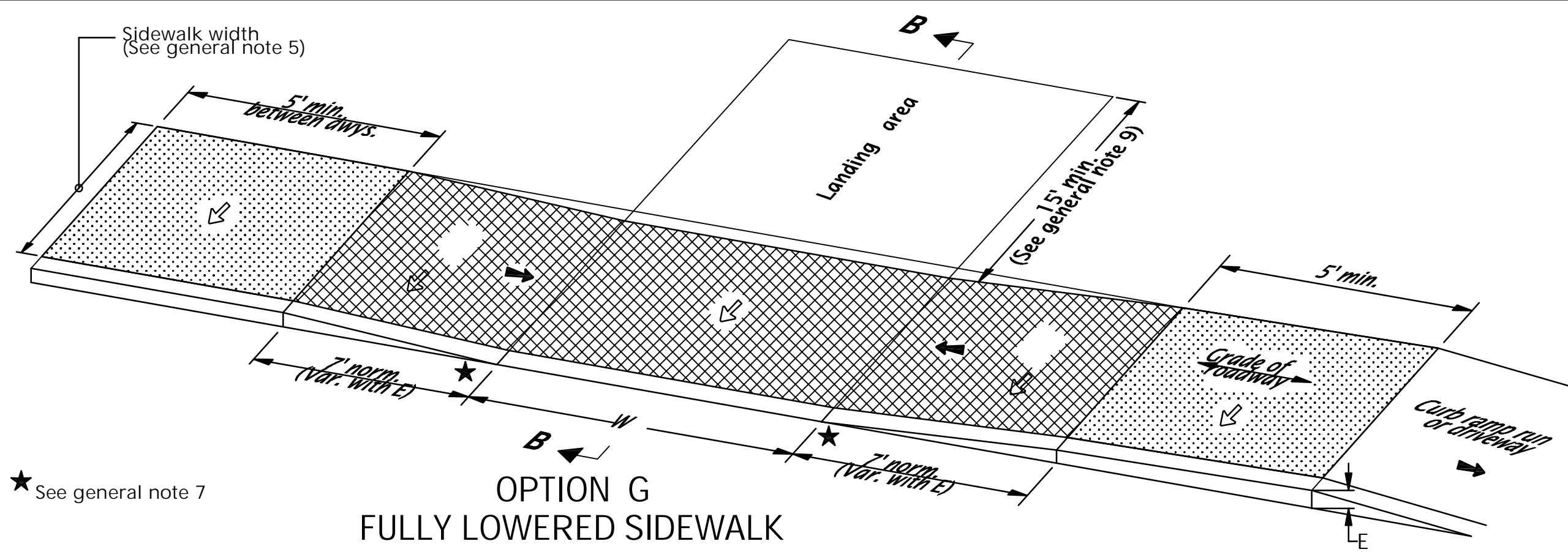


LEGEND

	EXISTING PROPERTY LINE
	SEWER LINE
	WATER LINE
	GAS LINE
	OVERHEAD POWER LINE
	ASPHALT
	SIDEWALK
	POWER POLE
	FIRE HYDRANT
	CATCH BASIN
	PROPOSED TRENCH DRAIN, H-20 TRAFFIC RATING
	STORM DRAIN PIPE
	ASPHALT SLOPE
	DRAINAGE ROUTE
	4" HIGH AC CURB

NO.	DATE	DESCRIPTION	BY

V:\23-03-AirDwg\AIRRUN-site plan.dwg, entrance, 12/6/2023 4:30:30 PM



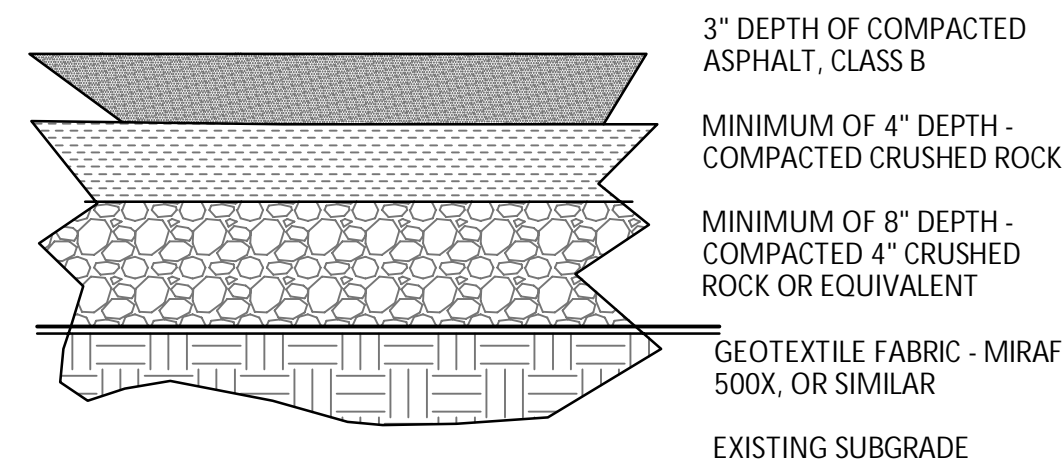
GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

- Details are based on applicable ODOT Standards.
- Only use details allowed by jurisdiction.
- The following dimensions are as shown on plans, or as directed: driveway width, driveway slope, sidewalk width, curb exposure, driveway lip exposure, landing area length and width. See project plans for details not shown.
- Curb, gutter, and sidewalk types varies, see plans. See Std. Dwg. RD700 & RD701 for curb details. See Std. Dwg. RD720 for sidewalk details. See Std. Dwg. RD722 for joint details.
- A greater than or equal 4' unobstructed clear passage with cross slope 1.5% max. (Max. 2.0% finished surface slope) is required behind driveway apron.
- Where existing driveway is in good condition, and meets slope requirements, construct only as much landing area as required for satisfactory connection with new work.
- Check the gutter flow depth at driveway locations to assure that the design flood does not overtop the back of sidewalk at driveway. If overtopping occurs place an inlet at upstream side of driveway or perform other approved design mitigation.
- Construct a full depth expansion joints with 1#2" (ln) preformed joint filler at ends of each driveway.
- Tooled joints are required at all driveway slope break lines.
- 15' min. of the driveway behind the sidewalk should be surfaced to prevent tracking of gravel onto the sidewalk.
- Monolithic curb & sidewalk shall retain thickened edge through lowered profile, to accommodate driveway use. See Std. Dwg. RD720 for details.

LEGEND:

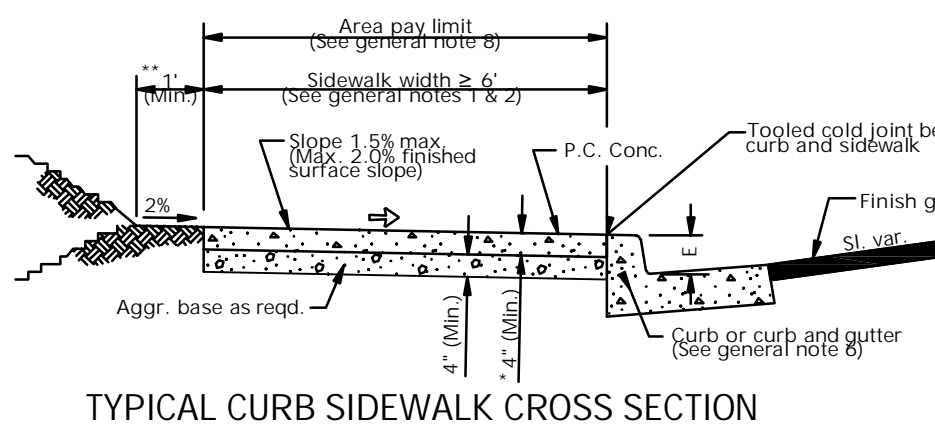
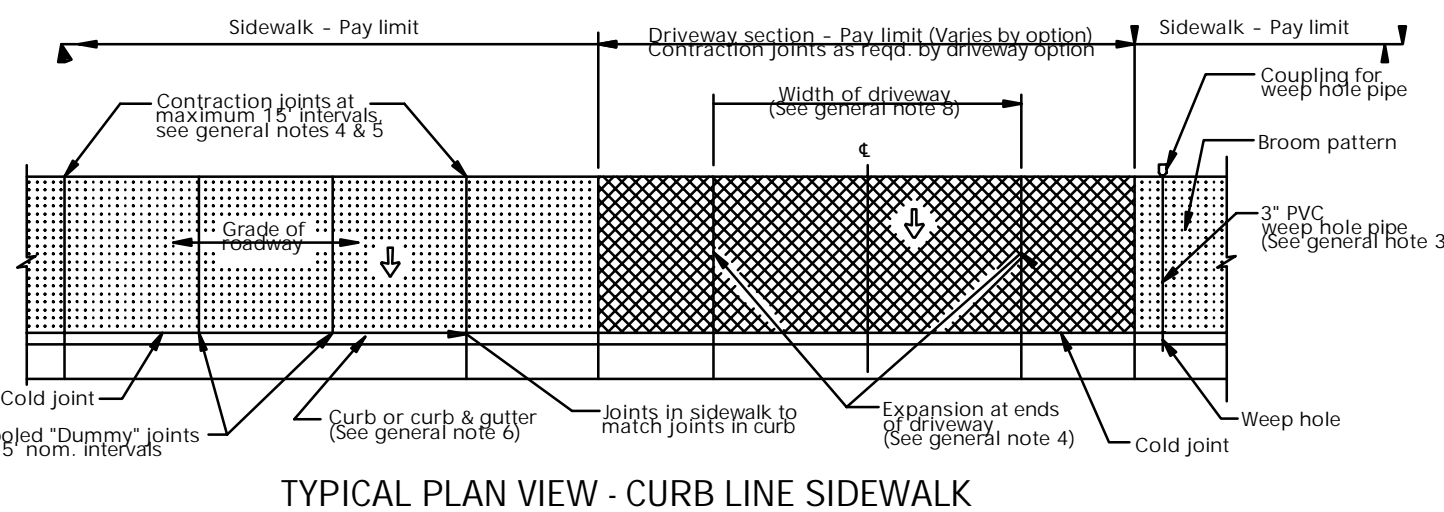
- Sidewalk
- Driveway pay limit (If monolithic, include adjacent curb) (See project plans for details not shown)
- Cross slope 1.5% max. (Max. 2.0% finished surface slope) (Normal sidewalk cross slope)
- Running slope 7.5% max. (Max. 8.3% finished surface slope)
- Width of driveway
- Curb exposure

1 DRIVEWAY RAMP DETAIL
NO SCALE



EXCAVATE TO 12" BELOW FINAL GRADE (MIN).
COMPACT ALL CRUSHED ROCK TO 95% OF MAXIMUM DENSITY.
PROOF ROLL, OR TEST PER CITY REQUIREMENTS.

2 PARKING SECTION
NO SCALE



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

- Include additional paved or unpaved 2' shy distance to vertical faces higher than 5' such as retaining walls, sound walls, fences and buildings.
- Curb type and sidewalk width as shown on plans or as directed. On sidewalks 8' and wider, provide a longitudinal joint at the midpoint.
- Install 3" pvc weep hole pipes in sidewalks where shown on plans, and allowed by jurisdiction. Place contraction joint over top of pipe. See Std. Dwg. RD700 for weep hole details.
- Provide expansion joints around poles, posts, boxes, at ends of each driveway, and other fixtures which protrude through or against the structures. For sidewalk, monolithic curb & sidewalk, const. expansion joints at 45' maximum spacing. See Std. Dwg. RD722 for expansion joints details.
- Const. contraction joints at 15' maximum spacing, and at ends of each curb ramp. See Std. Dwg. RD722 for contraction joints details.
- For curb details, see Std. Dwg. RD700 & RD701. ODOT standard E=7'.
- Sidewalk details are based on applicable ODOT standards.
- Fully lowered sidewalk shown; see project plans for the driveway design specified. For driveway details not shown, see Std. Dwg. RD720, RD730, RD735, RD740, RD745 & RD750.
- See project plans for details not shown.

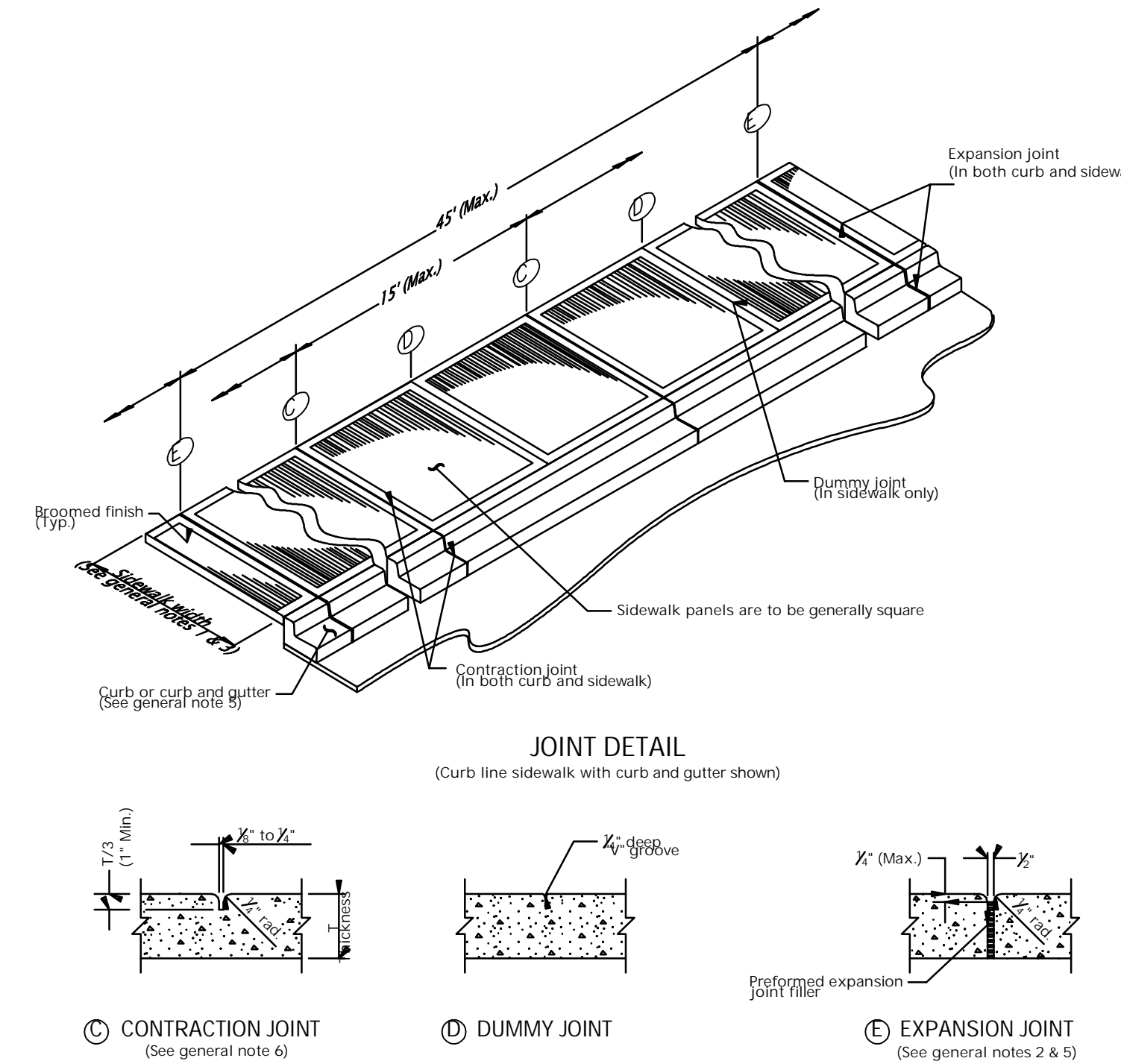
LEGEND:

- Sidewalk pay limit.
- Driveway pay limit, varies by option, (See general note 8).
- Cross slope 1.5% max. (Max. 2.0% finished surface slope) (Normal sidewalk cross slope)

3 CURB + GUTTER DETAIL
NO SCALE

4 SIDEWALK DETAIL
NO SCALE

CURB LINE SIDEWALK DRIVEWAYS OR ALLEYS (OPTIONS F & G) ODOT HIGHWAYS



GENERAL NOTES FOR ALL DETAILS ON THIS SHEET:

- See Std. Dwg. RD720 & RD721 for concrete sidewalk details. See project plans for sidewalk width, placement and design specified.
- Provide expansion joints around poles, boxes, at ends of each driveway and other fixtures which protrude through or against the structures. For sidewalk, monolithic curb and sidewalk, construction expansion joints at 45' max. spacing.
- On sidewalks 8' and wider, provide a longitudinal joint at the midpoint of sidewalk panel.
- See Std. Dwg. RD700 & RD701 for concrete curb details. See project plans for the curb design specified.
- For curb ramps, do not place expansion joints within the limits of curb ramps and between separate concrete pours.
- Const. contraction joints at 15' max. spacing, and at each curb ramp, driveway, sidewalk and curb.

NO.	DATE	DESCRIPTION	BY

AQUAMARINE ON BROADWAY, LLC
TAX LOT 12400 - PARKING LOT
SIDEWALK DETAILS

SHEET
5
OF FIVE



MORGAN CIVIL ENGINEERING, INC.

PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com

JOB NO. #23-03-AIR
DATE DEC. 6, 2023



RENEWAL DATE: DECEMBER 31, 2024

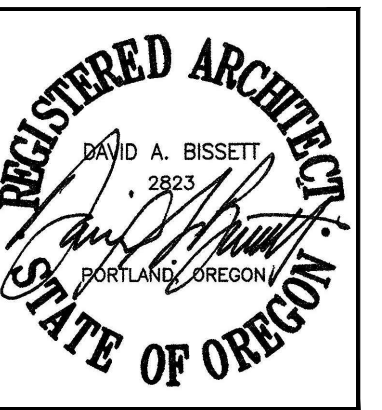
SEASIDE/MAP 6N 10W 21AD

V:\23-03-Air\Draw\AIRRUN-site plan.dwg, details-SW, 12/06/2023 4:30:35 PM

AQUAMARINE on BROADWAY

EXISTING BUILDING REMODEL

821 BROADWAY
SEASIDE, OR 97138



DAVID BISSETT
ARCHITECT PC
503.341.4445 davidb@dbaarch.com
www.DBAarch.com

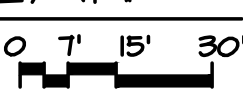
COVER SHEET
AQUAMARINE ON BROADWAY
821 BROADWAY
SEASIDE, OR 97138

MATERIALS	PROJECT INFORMATION		INDEX OF SHEETS																																																		
<p>MATERIALS</p> <table border="0"> <tr> <td></td> <td>EARTH</td> <td></td> <td>WOOD FRAMING (THROUGH MEMBER)</td> </tr> <tr> <td></td> <td>SAND / MORTAR PLASTER</td> <td></td> <td>WOOD BLOCKING (INTERRUPTED MEMBER)</td> </tr> <tr> <td></td> <td>CONCRETE</td> <td></td> <td>PLYWOOD</td> </tr> <tr> <td></td> <td>BRICK / VENEER C.M.U.</td> <td></td> <td>ACOUSTIC TILE / BOARD</td> </tr> <tr> <td></td> <td>CONCRETE MASONRY UNIT</td> <td></td> <td>GYPSUM BOARD</td> </tr> <tr> <td></td> <td>METAL</td> <td></td> <td>BATT INSULATION</td> </tr> <tr> <td></td> <td>FINISH WOOD</td> <td></td> <td>RIGID INSULATION</td> </tr> </table>		EARTH		WOOD FRAMING (THROUGH MEMBER)		SAND / MORTAR PLASTER		WOOD BLOCKING (INTERRUPTED MEMBER)		CONCRETE		PLYWOOD		BRICK / VENEER C.M.U.		ACOUSTIC TILE / BOARD		CONCRETE MASONRY UNIT		GYPSUM BOARD		METAL		BATT INSULATION		FINISH WOOD		RIGID INSULATION	<p>1. OWNER INFORMATION PROPERTY OWNER: AQUAMARINE LLC DBA AQUAMARINE ON BROADWAY OWNER/OPERATOR - ANNA MARIA KALOUMENOU OWNERS ADDRESS: 1515 BARANOF ST KODIAK, AK 99615</p> <p>2. PARCEL INFORMATION TAX ID: 61021AD11401 LOT SIZE: 2978.5 SF JURISDICTION: CITY OF SEASIDE ZONING: C-4 COMMERCIAL, CENTRAL OVERLAY: OR SB379 TSUNAMI REGULATORY LINE NEIGHBORHOOD: NA SOILS: NA FLOOD ZONE: NA</p> <p>3. PARCEL REGULATIONS DENSITY: NO REQUIREMENTS MAX COVERAGE: NO REQUIREMENTS MAX F.A.R.: NA SETBACKS: NONE FRONT YARD: NONE SIDE-STREET: NONE SIDE-INTERIOR: NONE REAR YARD: NONE HEIGHT: 75 FEET PARKING: NA</p> <p>4. BUILDING INFORMATION OCC. GROUP: GROUND & 2nd FLOOR (L1 & L2) A2 OCCUPANCY GROUP 3rd FLOOR (L3) R1 OCCUPANCY GROUP CONST. TYPE: TYPE III-B BUILDING HEIGHT AND AREA: 3 STORIES - 30 FEET</p> <p style="text-align: center;">— GROSS BUILDING AREA —</p> <table border="0"> <tr> <td>L1 Area</td> <td>2808 SF</td> </tr> <tr> <td>L2 Area</td> <td>2808 SF</td> </tr> <tr> <td>L3 Area</td> <td>2668 SF</td> </tr> <tr> <td>Grand total</td> <td>8284 SF</td> </tr> </table>		L1 Area	2808 SF	L2 Area	2808 SF	L3 Area	2668 SF	Grand total	8284 SF	<p>INDEX OF SHEETS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>CS</td> <td>COVER SHEET</td> </tr> <tr> <td>A1.0</td> <td>AERIAL SITE PLAN</td> </tr> <tr> <td>A1.1</td> <td>SITE PLAN</td> </tr> <tr> <td>A2.1</td> <td>GROUND FLOOR PLAN</td> </tr> <tr> <td>A2.2</td> <td>SECOND FLOOR PLAN</td> </tr> <tr> <td>A2.3</td> <td>THIRD FLOOR PLAN</td> </tr> </tbody> </table>	NO.	DESCRIPTION	CS	COVER SHEET	A1.0	AERIAL SITE PLAN	A1.1	SITE PLAN	A2.1	GROUND FLOOR PLAN	A2.2	SECOND FLOOR PLAN	A2.3	THIRD FLOOR PLAN
	EARTH		WOOD FRAMING (THROUGH MEMBER)																																																		
	SAND / MORTAR PLASTER		WOOD BLOCKING (INTERRUPTED MEMBER)																																																		
	CONCRETE		PLYWOOD																																																		
	BRICK / VENEER C.M.U.		ACOUSTIC TILE / BOARD																																																		
	CONCRETE MASONRY UNIT		GYPSUM BOARD																																																		
	METAL		BATT INSULATION																																																		
	FINISH WOOD		RIGID INSULATION																																																		
L1 Area	2808 SF																																																				
L2 Area	2808 SF																																																				
L3 Area	2668 SF																																																				
Grand total	8284 SF																																																				
NO.	DESCRIPTION																																																				
CS	COVER SHEET																																																				
A1.0	AERIAL SITE PLAN																																																				
A1.1	SITE PLAN																																																				
A2.1	GROUND FLOOR PLAN																																																				
A2.2	SECOND FLOOR PLAN																																																				
A2.3	THIRD FLOOR PLAN																																																				
<p>SYMBOLS</p> <p>DETAIL C A4 DETAIL NUMBER: C SHEET WHERE DETAIL IS DRAWN: A4</p> <p>SECTION 1 A4 SECTION NUMBER: 1 SHEET WHERE DETAIL IS DRAWN: A4</p> <p>DETAIL - ENLARGED PLAN C A4 DETAIL NUMBER: C SHEET WHERE SECTION IS DRAWN: A4 AREA TO BE DETAILED OR ENLARGED</p> <p>INTERIOR ELEVATION A400/B8 ELEVATION LETTER: A400/B8 INTERIOR ELEVATION KEY: A400/B8 SHEET WHERE ELEVATION IS DRAWN: A400/B8</p> <p>ROOM NUMBER 202 ROOM NUMBER: 202</p> <p>REVISION 1 A1 REVISION NUMBER: 1 LETTER FOR WINDOW: A</p> <p>ELEVATION TAG 1 A1 ELEVATION NUMBER: 1 SHEET WHERE ELEVATION IS DRAWN: A1</p> <p>WALL TYPE B WALL TYPE: B</p> <p>DRAWING TITLE 1 A2.1 DRAWING TITLE: 1 SCALE: 1" = 8' 12" = 16'</p>	<p>VICINITY MAP</p> <p>AQUAMARINE on BROADWAY SEASIDE, OR</p> <p>VICINITY PLAN 1 CS VICINITY PLAN: 1 NTS</p>		<p>GENERAL NOTES</p> <p>1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.</p> <p>KEY NOTE LEGEND:</p> <ul style="list-style-type: none"> (1C) CIVIL/SITE KEY NOTE TARGET (1P) FLOOR PLAN KEY NOTE TARGET (1R) ROOF PLAN KEY NOTE TARGET (1E) ELEVATIONS KEY NOTE TARGET (1S) BUILDING/MALL SECTION KEY NOTE TARGET (1RCP) REFLECTED CEILING PLAN KEY NOTE TARGET (1L) LANDSCAPE KEY NOTE TARGET 	<p>PROJECT TEAM</p> <p>OWNER: AQUAMARINE LLC/ DBA AQUAMARINE on BROADWAY ANNA KALOUMENOU 1515 BARANOF St. KODIAK, AK 99615</p> <p>ARCHITECT: DAVID BISSETT ARCHITECT, PC 10940 SW BARNES RD., #101 PORTLAND, OR 97225 (503) 341-4445 davidb@dbaarch.com</p> <p>GENERAL CONTRACTOR: AIRRUN CONSTRUCTION AARON FAUSETT P.O. Box 194, WARRENTON, OR 97146 (503) 298-0224 airrunconstruction@gmail.com CCB #171767</p> <p>STRUCTURAL ENGINEER: WOLDEN STRUCTURAL ENGINEER LLC 34930 HIGHWAY 53 NEHALEM, OR 97131 TIM WOLDEN (503) 368-7962 www.wolden.com</p> <p>Revisions</p> <table border="1"> <thead> <tr> <th>Drawn By</th> <th>Checked By</th> </tr> </thead> <tbody> <tr> <td>TA</td> <td>DB</td> </tr> </tbody> </table> <p>Project Number</p> <p>Issue Date: 9-11-23 Drawing File Name: 821 Broadway Sheet Number</p> <p style="text-align: center; font-size: 2em;">CS</p> <p style="text-align: center;">CITY REVIEW SET</p>	Drawn By	Checked By	TA	DB																																													
Drawn By	Checked By																																																				
TA	DB																																																				



821 BROADWAY
EXISTING (3) STORY BLDG.
TYPE IIIB

Aerial Site Plan
A1.0 1" = 30'



GENERAL NOTES:

- GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES:

- 1C EXISTING BUILDING
- 2C EXISTING PARKING
- 3C EXISTING 22'x26' ADJACENT EASEMENT BOUNDARY. PER RECORDED INSTRUMENT #200609167 CLATSOP Co. 8/24/2006. EXISTING MECH. RM. & (2) EXISTING PARKING STALLS TO REMAIN.



dba DAVID BISSETT ARCHITECT PC
503.341.4445 davidb@dbaarch.com
www.DBAarch.com

AERIAL SITE PLAN
AQUAMARINE ON BROADWAY
821 BROADWAY
SEASIDE, OR 97138

Revisions
CITY REVIEW 10/24/23

Drawn By: TA Checked By: DB

Project Number

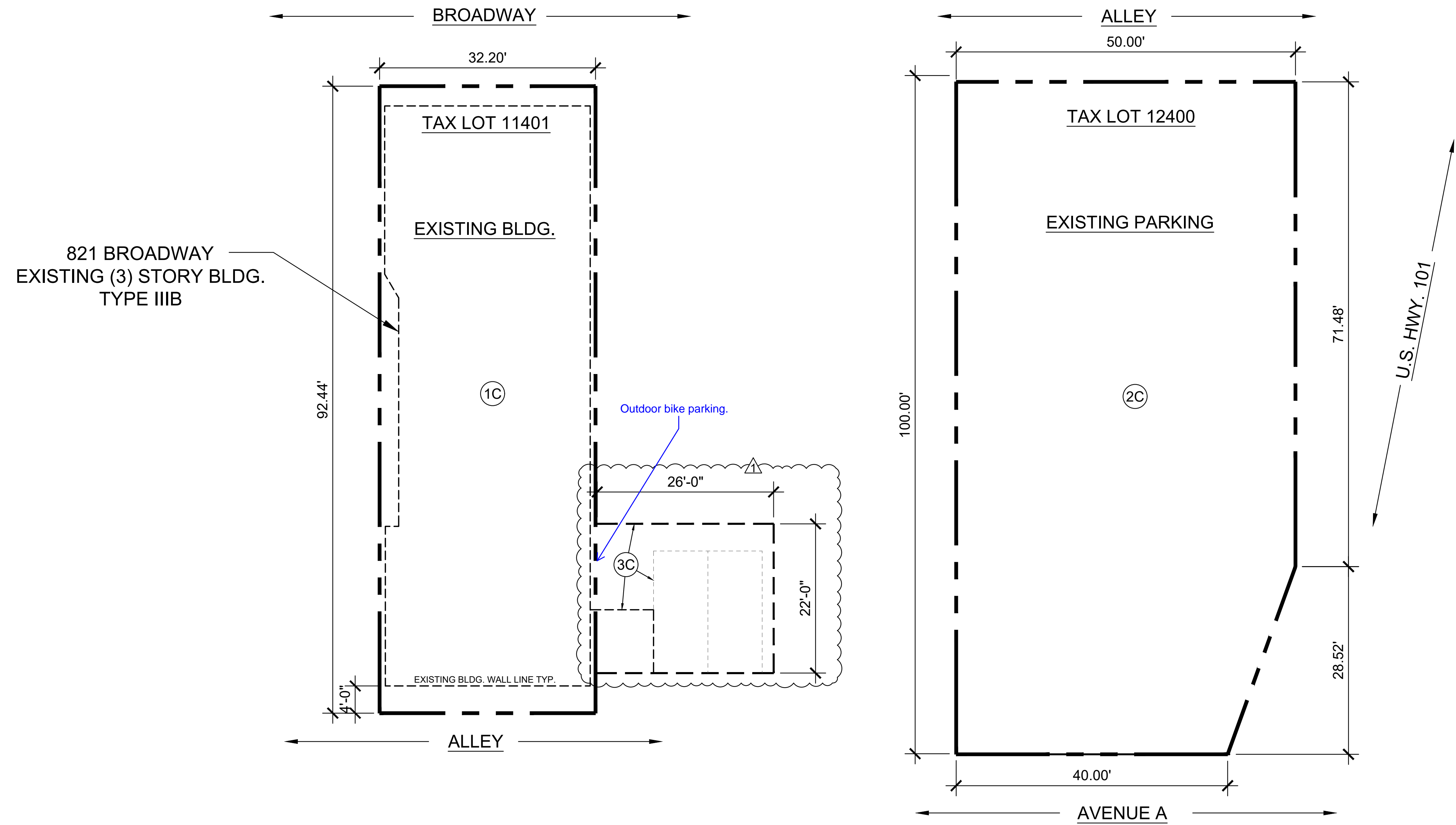
Issue Date: 9-11-23

Drawing File Name: 821 Broadway

Sheet Number

A1.0

CITY REVIEW SET



821 BROADWAY
EXISTING (3) STORY BLDG.
TYPE IIIB

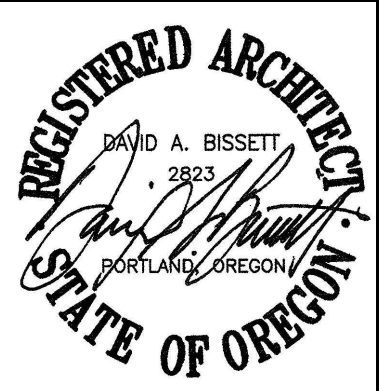


GENERAL NOTES:

I. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES:

- 1C EXISTING BUILDING
- 2C EXISTING PARKING
- 3C EXISTING 22'x26' ADJACENT EASEMENT BOUNDARY. PER RECORDED INSTRUMENT #200609167 CLATSOP Co. 8/24/2006. EXISTING MECH. RM. & (2) EXISTING PARKING STALLS TO REMAIN.



dba DAVID BISSETT
ARCHITECT PC
503.341.4445 davidb@dbaarch.com
www.DBAarch.com

TAX LOT REFERENCE
AQUAMARINE ON BROADWAY
821 BROADWAY
SEASIDE, OR 97138

Revisions
CITY REVIEW 10/24/23

Drawn By: TA
Checked By: DB

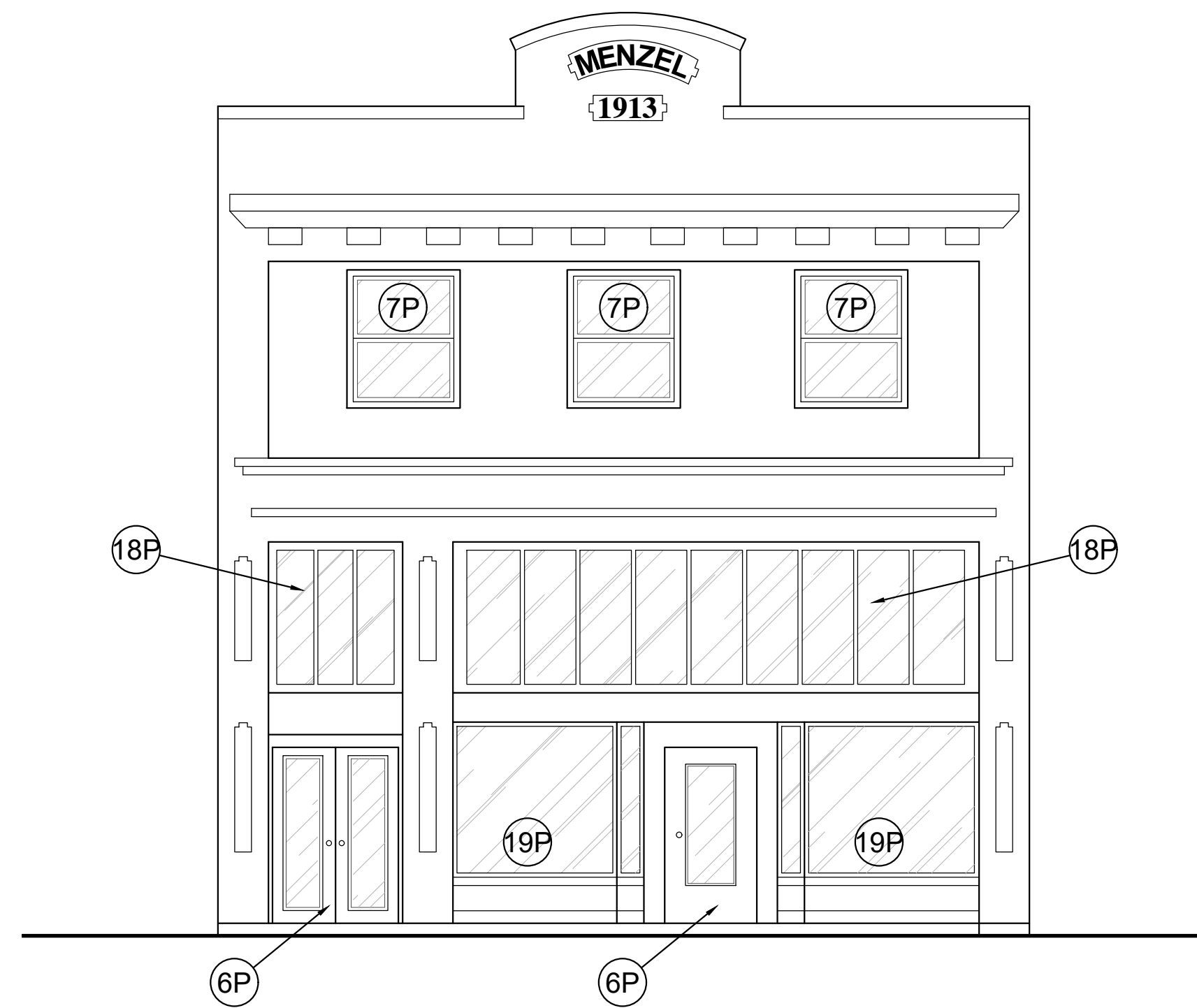
Issue Date: 9-11-23

Drawing File Name: 821 Broadway

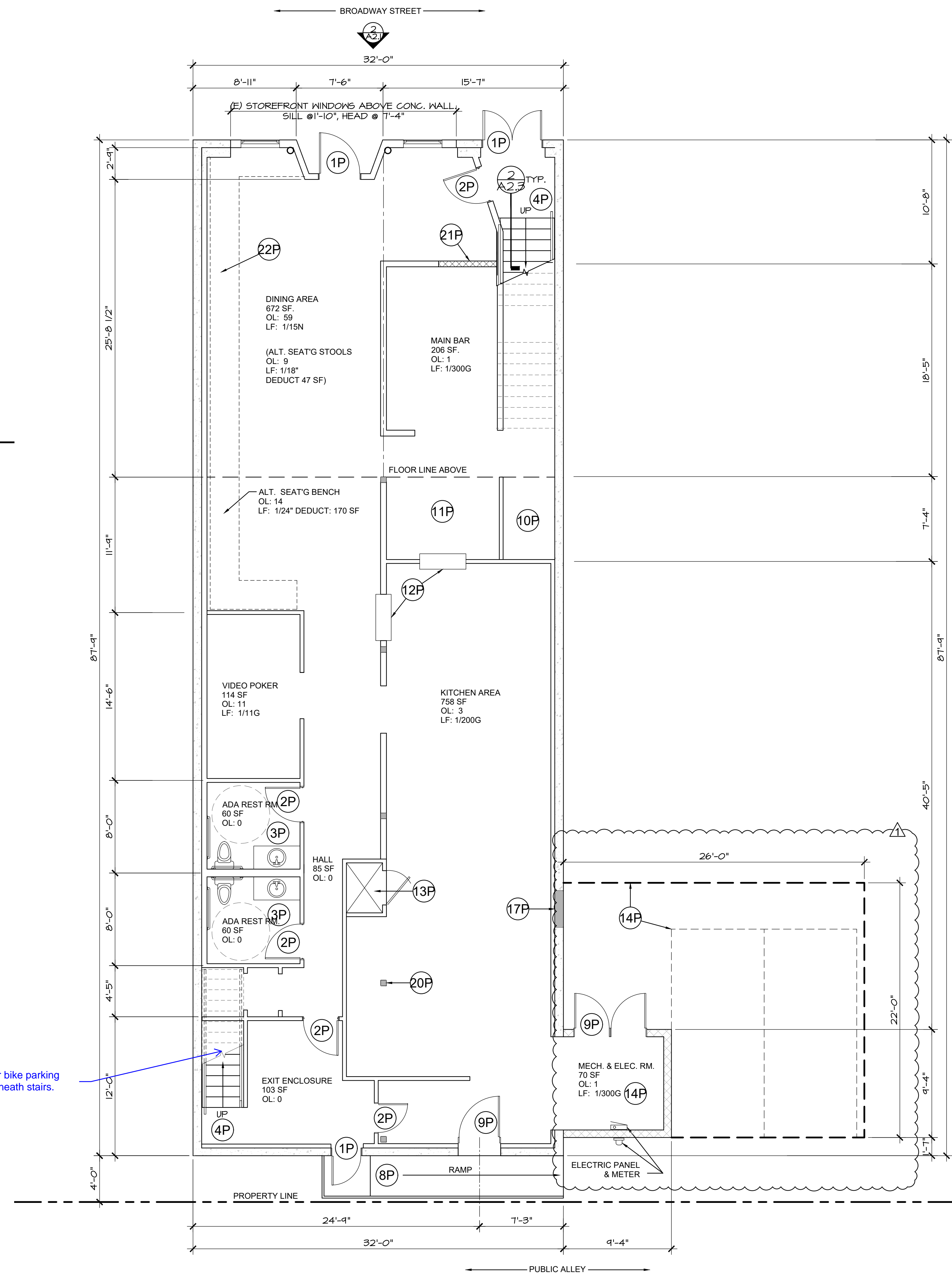
Sheet Number

A1.1

CITY REVIEW SET



2 FRONT ELEVATION
 A2.1 3/16" = 1'-0"
 0 2' 4' 8'



Indoor bike parking underneath stairs.

1 GROUND FLOOR PLAN (LI)
 A2.1 3/16" = 1'-0"
 0 2' 4' 8'

OCC. LOADS FOR LEVEL 1
 STANDARD A-2 USE; 77 OL
 ALT: A-2 USE; 74 OL

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.
2. DIMENSIONS AT EXTERIOR WALL TO FACE OF CONCRETE/STUD U.N.O. AT INTERIOR WALL TO CENTER OF STUD U.N.O.
3. VERIFY POST & BEAM SIZE & LOCATION WITH STRUCTURAL

KEY NOTES:

- NOTE:
 SOME NOTES DO NOT APPLY TO EACH SHEET
- 1P EXISTING DOORS, ADA COMPLIANT REQUIRED
 - 2P NEW DOORS, ADA COMPLIANT REQUIRED
 - 3P ADA COMPLIANT REST RM.
 - 4P EXISTING STAIRS, 44" WIDE MIN. STAIRS & LANDING. CONTRACTOR TO CONFIRM. ADA COMPLIANT SEE 2/A2.3
 - 5P NON-ADA COMPLIANT REST RM.
 - 6P EXISTING DOORS - REPLACE NEW STOREFRONT
 - 7P EXISTING WINDOWS MODIFIED AS REQUIRED FOR EGRESS COMPLIANCE PER BUILDING OFFICIAL. CONTRACTOR TO VERIFY ALL WINDOW LOCATIONS & SIZES
 - 8P LANDING & ADA COMPLIANT RAMP @ 1:20 SLOPE
 - 9P NEW DOORS, NON-ADA COMPLIANT
 - 10P EXISTING STORAGE AREA
 - 11P TAKE OUT SERVICE AREA
 - 12P OPENING FOR TAKE OUT
 - 13P DUMBWAITER
 - 14P EXISTING 22'x26' ADJACENT EASEMENT BOUNDARY. PER RECORDED INSTRUMENT #200604767 CLATSOP Co. 8/24/2006. EXISTING MECH. RM. & (2) EXISTING PARKING STALLS TO REMAIN.
 - 15P NOT USED
 - 16P LOW WALL
 - 17P EXISTING DOOR'S or WINDOWS REMOVED & INFILL SPACE
 - 18P NEW STOREFRONT WINDOWS
 - 19P EXISTING WINDOWS - REPLACE NEW STOREFRONT
 - 20P EXISTING POST (TYP. OF 5)
 - 21P BAR ADA SEATING AREA
 - 22P PERMANENT SEATING BENCH
 - 23P LAUNDRY CHUTE



dba DAVID BISSETT
 ARCHITECT PC
 503.341.4445 davidb@dbaarch.com
 www.DBAarch.com

GROUND FLOOR PLAN
 AQUAMARINE ON BROADWAY
 821 BROADWAY ST.
 SEASIDE, OR 97138

Revisions	
▲	CITY REVIEW 10/24/23

Drawn By TA Checked By DB
 Project Number

Issue Date 9-11-23
 Drawing File Name

821 Broadway
 Sheet Number

A2.1

CITY REVIEW SET

Jeff Flory

From: Jeff Flory
Sent: Thursday, September 21, 2023 2:17 PM
To: Jordan Sprague; Debbie Kenyon
Subject: FW: Development of 821 Broadway

Can you please put this comment in Accela.

Thanks.

Jeff Flory
Community Development Director
City of Seaside
Office: (503) 738-7100
Mobile: (503) 583-4007
cityofseaside.us



From: ODOT Reg 2 Planning Manager <ODOTR2PLANMGR@odot.oregon.gov>
Sent: Thursday, September 21, 2023 2:15 PM
To: Jeff Flory <jflory@cityofseaside.us>
Subject: RE: Development of 821 Broadway

This sender is trusted.

Jeff,

I have received and reviewed the Land Use Notice plans for the development of a restaurant/hotel and parking lot (Remodel exist. Bldg. TL 11401 & exist. Parking TL12400). There is no existing direct approach from proposed parking to HWY 101. TL1 1401 (hotel) is 3rd property west from Hwy101. TL 12400 is abutting HWY101 with no existing direct approach to the highway. It will be extension of existing parking with asphalt (today is gravel), proposing 13 parking spaces for 6 unit hotel rooms, restaurant customers and company employees. The proposed hotel w/restaurant is not located next to each other, there is an aisle and different TL between the hotel and proposed parking..

The 13 new additional parking spaces will not generate additional traffic flow needed for COU and because there is not proposed direct approach to the highway. There is no ODOT concern influencing traffic flow on HWY 101.

If the applicant needs to occupy state highway right-of-way for utility work, they can contact the ODOT District 1 Permits office at 503-325-7222.

Zdenek "Z" Vymazal, PE, PLS
Development Review Coordinator (Area 1)
ODOT – Region 2

455 Airport Rd. SE, Bldg. B
Salem, OR 97301
(971)-345-1318 Cell/Office
zdenek.g.vymazal@odot.oregon.gov
Hours: 6:30 AM to 3:00 PM Monday – Friday

From: Jeff Flory <jflory@cityofseaside.us>
Sent: Thursday, September 21, 2023 10:21 AM
To: ODOT Reg 2 Planning Manager <ODOTR2PLANMGR@odot.oregon.gov>
Subject: Development of 821 Broadway

You don't often get email from jflory@cityofseaside.us. [Learn why this is important](#)

This message was sent from outside the organization. Treat attachments, links and requests with caution. Be conscious of the information you share if you respond.

Hello-

Please see the attached plans for the development of a restaurant/hotel and parking lot for 821 Broadway.

Please let me know if you need anything else.

Jeff Flory
Community Development Director
City of Seaside
Office: (503) 738-7100
Mobile: (503) 583-4007
cityofseaside.us



**CITY OF
SEASIDE**



City of Seaside City Council Meeting Staff Report

Meeting Date: January 2, 2024
Author: Jordan Sprague, Code Compliance Official
Department: Community Development
Subject: Garage Door Height for VRDs
Type of Item: Ordinance Administration

Introduction:

A pre-VRD inspection was conducted at 403 N Downing St., during which it was noted that the height of the garage door was insufficient. The measurement of the garage door opening revealed a height of 6'4". The new owner has requested an ordinance administration review of garage door opening heights for VRDs. The owner is reaching out to contractors for bids to increase the height of the garage door, but limitations only allow them to increase the opening by another 2 inches.

Background:

The house in question was constructed in the 1920s. Upon review, it appears that the garage was not included in a remodel permit, nor was it reconstructed. The house was previously approved for a VRD in 2006, but it was sold in 2019 and 2023. The garage door height was not addressed during the land use review.

Garages are considered uninhabitable spaces within the Oregon Building Codes. Consequently, the height of a garage is not regulated, and this includes the garage door. The garage door does not need to meet a height requirement during construction. The sole limitation on a garage door is the manufacturer's dimensions. After examining garage doors online, they may range from 6' 8" to 8', but the standard height is 7'. Garage doors outside of this range are available but are more specialized in construction.

Department Review:

Parking complaints have constituted the majority of the grievances received, particularly during peak tourist seasons. Regarding this property, we are considering either permitting the owner to use the garage as a parking space while closely monitoring parking complaints or mandating the relocation of this parking space to another part of the property. Given that the property is a corner lot, there is ample space on the west side for the parking space to be situated. Should the owner seek a short-term rental license, the Planning Department could impose additional conditions, enforcing a more stringent parking policy or mandating a reconfiguration of the parking space if a valid parking complaint is filed and substantiated.

As garage door heights are not regulated by the Oregon Building Codes, we are deferring this determination to the Planning Commission. My stance on this matter has been to support the use of the garage for most standard-size vehicles. The height of a Honda Civic is 4' 5", a Toyota Tundra is 6' 5", and a Subaru Forester is 5' 9". These common vehicle

types serve as examples to illustrate the potential limitations the garage door height could impose.

Requested Action:

The Planning Commission is to make a determination if a garage door height is required to meet a standard set by the Planning Commission.

Attachments:

Attachment 1: Photo of 403 N Downing garage door

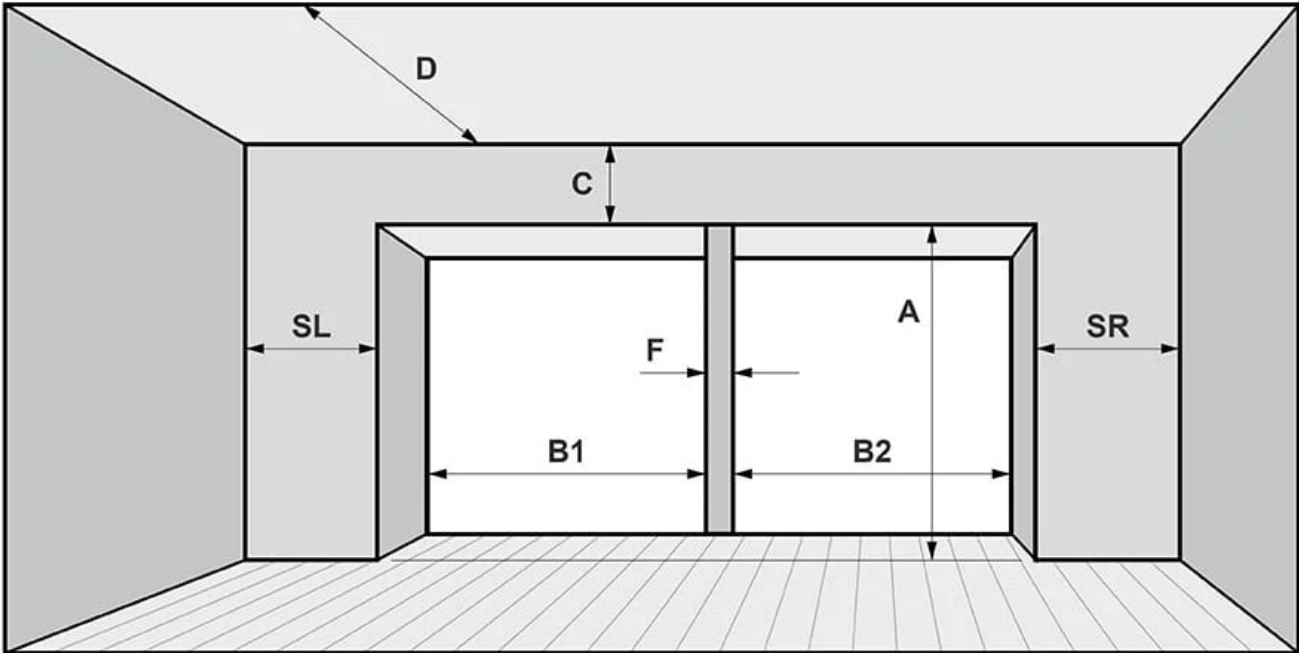
Attachment 2: Garage Door Common Standards

403 N. Downing



GARAGE DOOR

SINGLE SIZES



- Opening Height - A - Standard 84 1/16" (2135 mm) or Caravan 100" (2540 mm) SUV 93 11/16" (2380 mm)
- Opening Width - B1 / B2 - Standard 96 1/16" (2440 mm)
- Headroom Height - C - Minimum 15 3/4" (400 mm)
- Depth of Door Entrance into the Premises - D - Minimum 133 7/8" (3400 mm)
- Side Room (Left & Right) - EL / ER - Minimum 5 7/8" (150 mm)
- Post - F - Minimum 15 3/4" (400 mm)

