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## SEASIDE PLANNING COMMISSION MEETING AGENDA

989 Broadway - City Hall Council Chambers

June 7, 2022

6:00 p.m.

1. CALL TO ORDER:
2. PLEDGE OF ALLEGIANCE:
3. OPENING REMARKS:
4. DECLARATION OF CONFLICT OF INTEREST OR EXPARTE CONTACTS:
5. APPROVAL OF MINUTES: May 3, 2022
6. PUBLIC HEARING:
  - A. **Continuance of 21-061 PDSUB:** A Planned Development Subdivision request by **Sunset Ridge, LLC**, represented by Mark Mead. The subject property (**T6-R10-S22AB-TL# 8100**) is located north of the intersection of Hemlock St. and Aldercrest St. and it is approximately 6.62 acres in size. The subject property is zoned **Low Density Residential (R1)** and the request will allow the creation of 17 lots for residential development and one large open space tract. The proposed development lots range in size from 6,943 sq. ft. to 14,825 sq. ft. and the open space tract will be approximately 1.93 acres. The access would be provided by extending the north end of Hemlock St. through the creation of Hemlock Ct. and Fern Ct.  
**Please note this project has been withdrawn and no public comment will be taken.**
  - B. **22-020SUB and 22-030V:** A Subdivision request by Sunset Ridge, LLC. The subject property (T6-R10-S22AB-TL# 8100) is located north of the intersection of Hemlock St. and Aldercrest St. and it is approximately 6.62 acres in size. The subject property is zoned Low Density Residential (R1) and the request will allow the creation of 15 lots for residential development. The proposed development lots range in size from 10,024 sq. ft. to 47,383 sq. ft. The access would be provided by extending the north end of Hemlock St. through the creation of Hemlock Ct. In conjunction with the subdivision request, the applicant is requesting a variance to the 400 ft. maximum cul-de-sac length and a variance to the requirement for sidewalks on both sides of the street.
  - C. **22-024VRD:** A conditional use request by Dave Reudink, Allison Hooper, Peter Ostrom, and Kelly McCoy for a one (1) bedroom Vacation Rental Dwelling with a maximum occupancy of three (3) persons over the age of three no more than ten (10) persons regardless of age. The property is located at 440 14th Ave (T6-R10-16DA-TL0900) and it is zoned Medium Density Residential (R2).
  - D. **22-025VRD:** A conditional use request by Lisa and Larry Brooks for a four (4) bedroom Vacation Rental Dwelling with a maximum occupancy of ten (10) persons regardless of age. The property is located at 781 Beach Dr (T6-R10-21DB-TL06000) and it is zoned High Density Residential (R3).
  - E. **VRD Proposed Policy Changes:**
    - a. Decrease VRD density from 40% to 30% in the R-2 and R-3 zone. Increase VRD density from 50% to 100% for properties with ocean frontage.
    - b. Add a 90-day application waiting period for new owners to apply after they have closed on the property.

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- c. Add a 2-year application waiting period for new construction after the certificate of occupancy has been issued.
- d. Increase the grace period to close out existing reservations from 60 days to 90 days.
- e. Exclusion of properties north of 12<sup>th</sup> Avenue and east of the Necanicum River.

**7. ORDINANCE ADMINISTRATION:**

**8. PUBLIC COMMENTS:** Not related to specific agenda items

**9. PLANNING COMMISSION & STAFF COMMENTS:**

**10. ADJOURNMENT**



**MINUTES SEASIDE PLANNING COMMISSION**  
**May 3, 2022**

**CALL TO ORDER:** Chair Montero called the regular meeting of the Seaside Planning Commission to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**ATTENDANCE:** Commissioners present: Chairman Robin Montero, Vice Chair Kathy Kleczek, Lou Neubecker, Seth Morrissey and Don Johnson. Staff present: Jeff Flory, Acting Planning Director and Transient Rental Compliance Officer, Anne McBride, Community Development Assistant. Commissioners Absent: Chris Rose and Brandon Kraft

**APPROVAL OF MINUTES:** April 5, 2022 minutes were adopted as written.

**INTRODUCTORY STATEMENTS**

This is the time duly advertised for the Seaside Planning Commission to hold its monthly meeting. Agenda items can be initiated by the general public, any legal property owner, Seaside City Council, City staff, and the Seaside Planning Commission.

Chair Montero asked if there was anyone present who felt the Commission lacked the authority to hear any of the items on the agenda.

**PUBLIC HEARING PROCEDURES, EX PARTE CONTACTS & CONFLICTS OF INTEREST:**

Chair Montero stated it is standard procedure for the members of the Commission to visit the sites to be dealt with at these meetings. She then asked if any of the Commissioners wished to declare an ex parte contact or conflict of interest. Vice Chair Kleczek, Commissioners Morrissey and Neubecker declared a conflict of interest for project 21-061PDSUB.

**AGENDA:**

**PUBLIC HEARING REQUIREMENTS:**

The following public hearing statements were read by Chair Montero:

1. The applicable substantive criteria for the hearing items are listed in the staff report(s) prepared for this hearing.
2. Testimony and evidence shall be directed toward the substantive criteria listed in the staff report(s) or other criteria in the plan or land use regulation, which you believe applies to the decision.
3. Failure to raise an issue accompanied by statements or evidence sufficient to afford the decision maker and the parties an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals on that issue.
4. The applicant will testify first, then any opposition will testify, and then the applicant will be given time for rebuttal.
5. Electronic testimony can be submitted via Zoom using the meeting ID of 817-4719-0379.

**PUBLIC HEARING**

- A. **Continuance of 21-061 PDSUB:** A Planned Development Subdivision request by **Sunset Ridge, LLC**, represented by Mark Mead. The subject property (**T6-R10-S22AB-TL# 8100**) is located north of the intersection of Hemlock St. and Aldercrest St. and it is approximately 6.62 acres in size. The subject property is zoned **Low Density Residential (R1)** and the request will allow the creation of 17 lots for residential development and one large open space tract. The proposed development lots range in size from 6,943 sq. ft. to 14,825 sq. ft. and the open space tract will be approximately 1.93 acres. The access would be provided by extending the north end of Hemlock St. through the creation of Hemlock Ct. and Fern Ct. Jeff Flory, Acting Planning Director, stated that the applicant



has requested a continuance in order to respond to comments that were made at previous Planning Commission hearing. The applicants have requested a continuance to the June 7, 2022 meeting at 6 pm in the Council Chambers and have waived their 120 day timeframe. Commissioner Johnson motioned to continue 21-061PDSUB. Chair Montero seconded the motion. The motion passed unanimously with Vice Chair Kleczek, Commissioners Morrissey and Neubecker abstaining.

## **ORDINANCE ADMINISTRATION**

Jeff Flory stated on April 19, 2022, the Planning Commission discussed the vacation rental policies. There were 3 items up for discussion that would change the policies for when an applicant can apply for a VRD conditional use permit. The first item involved the density requirement for the R-3 zone and oceanfront properties. Mr. Flory continued to state that the Commission requested to lower the density in the R-3 zone from 40% to 30%, and increase the density on oceanfront properties from 50% to 100%. The second item was to require a 90 day waiting period after a property was purchased before the new owner could apply for a VRD permit. The third item was to extend the grace period for property managers and owner have to cancel reservations after a permit has been voided from 60 days to 90 days. The extension and grace period are written as part of the conditions of use for VRD permits. Chair Montero asked if the new owners are obligated to honor the reservations of the property under the previous owners. Mr. Flory responded that they are not obligated to honor them.

Chair Montero stated that she had contacted 9 other Oregon coast cities to understand their vacation rental policies. Vice Chair Kleczek asked if the map Mr. Flory provided could be shown online via the Zoom meeting. Mr. Flory stated that the maps are available on the City of Seaside webpage and are easy to find. Chair Montero stated that increasing the density for oceanfront properties would allow for approximately 90 additional houses. Vice Chair Kleczek stated that she was wanting the legal opinion for setting a maximum number for VRDs in Seaside and having a two-year waiting period for all new construction before a VRD permit could be applied for. Dan Van Theil, City Attorney, stated that all changes that are being discussed were policy considerations and he didn't believe there were any legal considerations.

Commissioner Morrissey asked if the policy changes would be voted on by the Commission or if they would be recommendations for the City Council. Chair Montero stated that the Commission would vote on what recommendations would be forwarded to the City Council. Commissioner Morrissey recommended that when it came to voting, voting would take place for each item individually. The other Commissioners agreed. Chair Montero stated that the addition of vacation dwellings along the oceanfront was provided to reflect that the VRD cap, as recommended by Vice Chair Kleczek, would not allow the additional 90 houses to become VRDs. Mr. Flory responded that although there are 90 additional potential VRDs, a majority of the oceanfront properties would be prohibited because of parking configurations and building code upgrades. Commissioner Morrissey asked if the VRD density would be adjusted by zoning or if sections of the town could be set at a different density cap. Mr. Flory stated that if VRD density is adjusted, the R-3 zone adjustment could be justified from the existing comprehensive plan, but he would defer to the City Attorney if the Commission was able to piecemeal sections with different densities. Mr. Van Theil responded that from his perspective there would need to be a rationale for the different density areas. Mr. Van Theil questioned what the rationale was for proposing a maximum VRD cap. Vice Chair Kleczek responded that the number 400 was propose because the City is in need of full-time housing and the current number of VRDs is around 350. There would be room for adding new VRDs. Vice Chair Kleczek noted that a public comment was submitted in favor of reducing the VRD density and suggested that the R-2 and R-3 zones should have matching maximum density at 30%. The other Commissioners agreed that the density in the R-2 and R-3 zones should both be decreased to 30%. Chair Montero stated that houses along Beach Drive that do not abut the ocean should remain at 50% density. Mr. Flory responded that this area has been established at 50% and would not change with these policy changes.



Commissioner Neubecker requested that Commissioner Morrisey restate his comments about properties north of 12<sup>th</sup> Avenue. Commissioner Morrisey responded that north of 12<sup>th</sup> Avenue was traditionally long term rental, but VRDs have recently been incorporated into the area. Chair Montero asked if Commissioner Morrisey was talking about near the old Seaside High School. Commissioner Morrisey confirmed the location. Chair Montero stated that the "end of the world" (north of 12<sup>th</sup> Avenue and West of the Necanicum River) has seen an increase in the number of VRDs in the neighborhood. The area north of 12<sup>th</sup> Avenue and East of the Necanicum River has mainly been long term rentals and full-time residents. Chair Montero asked the Commission if they would propose excluding north of 12<sup>th</sup> Avenue and East of the Necanicum River from the VRD zone. Commissioner Neubecker followed up with asking about the existing rentals. Chair Montero responded that the rentals would be grandfathered until the property was sold or the permit was forfeited. Mr. Flory asked Mr. Van Theil if this policy change would cause any measure 49 claims. Mr. Van Theil responded that he doesn't believe it would cause any claims. Vice Chair Kleczek stated that the Commission should discuss a maximum VRD cap of 400. The other Commissioners agreed that regulation of VRDs should be controlled with density percentages. Commissioner Neubecker stated that the Commission should review the maximum VRD cap in 8 months to a year. Chair Montero suggested that the policies should be reviewed yearly.

Commissioner Morrisey stated that his disapproval of the VRD cap was because if the cap was reached, houses that are within a 100% density area or the RR zone, which would be outright permitted uses according to the new policy, would be denied or placed on hold. Vice Chair Kleczek stated that the RR zone and oceanfront properties could be excluded from the 400 VRD cap and suggested that a VRD cap could be incorporated within the comprehensive plan update.

Chair Montero asked the Commission wanted to institute a waiting period before allowing an applicant to apply for a VRD conditional use permit. Vice Chair Kleczek stated that the Commission had discussed a waiting period for new construction. The waiting period would prevent new construction being turned into a VRD instead of becoming a long term rental or full time housing. Chair Montero asked if this waiting period would apply to houses on Prom. Vice Chair Kleczek responded that it would not. Chair Montero stated it would be only for new construction in the R-2 and R-3 zones. Vice Chair Kleczek added that the waiting period should be 2 years. Commissioner Neubecker agreed with Vice Chair Kleczek that a waiting period should be implemented on new construction. Chair Montero stated that the waiting period should be started upon receiving the certificate of occupancy for the new construction.

Mr. Flory asked for clarification if a waiting period of 90 days after a property had been sold was on the table to be discussed. Chair Montero stated that it was. Commissioner Morrisey stated that if a property was not a VRD before, the waiting period should be enacted, but if the property was a VRD before the sale of the property there should not be a waiting period. Mr. Flory asked for what was meant by "if the property was not a VRD before," i.e., if the property was sold while having an active license, or if the property had an active license at any point of the property's history. Commissioner Morrisey responded houses with an active VRD license. Chair Montero added that the new 100% area and RR zone would also be excluded for this waiting period requirement. Mr. Flory asked for clarification for when the Commission decides acquisition of a property. Would it be based upon entering into a sales contract or recorded deed with the County. The Commission agreed that it would be with a recorded deed with Clatsop County.

Vice Chair Kleczek stated that signs were brought up at the work session and wanted to verify what the answer to the sign allowance was for VRDs. Chair Montero responded that the Planning Department clarified that the signage would be the same as a bed and breakfast, which was 1 and ½ square feet allowed for a sign. Commissioner Neubecker stated that houses with rental company signs allows transients to know which houses are empty.

Mr. Van Theil questioned the proof of ownership requiring a deed of record when properties are sold based on a contract of sale. The Commission asked for clarification. Mr. Flory responded



that in some situations, a property will be rented with an option to purchase the property. Mr. Van Theil expanded on the example by Mr. Flory stating properties can be leased and have the lease payments be credited to the down payment of the house. The owner would still retain ownership of the property until the sales contract was completed. Chair Montero stated that she and her husband were selling a property with a sales contract and the Clatsop County assessor's office listed them and the other party as owners. Mr. Van Theil wanted to clarify the owner of a property is identified by the recording of a deed and/or a contract of sale.

Chair Montero gave a recap of the proposed policy changes. Oceanfront property density would be increased to 100% from 50%, R-2 and R-3 zones density would be decreased to 30% from 40%, north of 12<sup>th</sup> Avenue and east of the Necanicum River would be excluded from the VRD area. On new construction in the R-2 and R-3 zones there would be a 2 year waiting period based on the certificate of occupancy, and new VRD licenses that had previously not been VRD would have a 90 day waiting period. Mr. Flory provided an example of when owners do not renew their business license at the end of the year because they are selling the house early into the next year. This would be a gray area for the active business license policy change. Commissioner Morrissey stated that the business license would need to be active. If an owner does not renew their license, they are not selling with an active VRD license.

Mr. Flory asked if the Commission was wanting to move forward with the increase of the grace period of existing reservations from 60 days to 90 days. The Commission stated they were in agreement with this change. Chair Montero suggested waiting to vote for the changes to the policies until the absent Commissioners had returned. Vice Chair Kleczek made a motion to request staff to formulate recommendations for the City Council as discussed in this meeting and be presented to the City Council at their next City Council meeting. The motion passed 4-0 with Commissioner Johnson abstaining and Commissioners Rose and Kraft absent. Jon Rahl, Assistant City manager, stated the next City Council meeting was in 6 days, on May 9, 2022. The Commission adjusted the motion to state the policy changes would be submitted to the next Council meeting after Mr. Flory had completed writing the policy changes. Mr. Flory stated that the Community Development Department would be in front of the City Council on the May 23<sup>rd</sup> meeting and will add these changes to their presentation. Mr. Flory asked what the timeframe for implementation of these policy changes the Commission would like to set. Chair Montero asked Mr. Van Theil if there was a minimum timeframe for implementing a policy change. Mr. Van Theil responded that there isn't a minimum timeframe but one should be implemented to help staff be transparent with the changes. Vice Chair Kleczek stated 30 to 90 days would be appropriate for implementation.

#### **COMMENTS FROM THE PUBLIC**

There were no comments from the public.

#### **COMMENTS FROM COMMISSION/STAFF**

Commissioner Morrissey stated that for years, the City has had the mindset that Seaside had unlimited tourism at the expense of the full time residents. This policy change is the first step in realizing tourism is needed, but the City has to work for the residents and business owners of Seaside.

**ADJOURNMENT:** Adjourned at 7:16 PM.

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Robin Montero, Chairman

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Jordan Sprague, Admin. Assistant.



SUNSET RIDGE, L.L.C  
PO Box 800,  
Seaside, Oregon 97138  
503-780-3671

May 9, 2022

To: Jordan Sprague  
City of Seaside

From: Sunset Ridge, L.L.C.

RE: Vista Ridge Tract "G"  
Case#: 21-061PDSUB  
Tax Lot 8100 Tax map 6-10-22-AB

Dear Jordan,  
At this time, we would like to withdrawal our application, Case#: 21-061PDSUB.

Thank you and please contact me if you have any questions.

Respectfully,

A handwritten signature in blue ink, appearing to read "Brandon [unclear]", is written over the word "Respectfully,".

Sunset Ridge, L.L.C.

**CITY OF SEASIDE STAFF REPORT**

**To:** Seaside Planning Commission  
**From:** Jeff Flory, Planning Director  
**Date:** June 7, 2022  
**Owners/** Sunset Ridge, LLC, P.O. Box 86100, Portland, OR 97286  
**Applicant:** Mark Mead, Mead Engineering, 89643 Ocean Dr., Warrenton, OR 97146

**Location:** T6-R10-S22AB-TL# 8100, Tract G of Vista Ridge, located north of the intersection of Hemlock St. and Aldercrest St.

**Subject:** 22-020SUB & 22-030V: A subdivision request allowing the creation of a 15-lot residential development. A variance request to the 400 ft maximum cul-de-sac length and to the improvement requirement to have sidewalks on both sides of the street.

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**REQUEST:**

The applicant is requesting approval of a fifteen (15) residential lot subdivision near the intersection of Hemlock St. and Aldercrest St. (T6, R10, S22AB, TL# 8100). The property is zoned Low Density Residential (R1). The proposed development lots range in size from 10,024 sq. ft. to 47,383 sq. ft. The access would be provided by extending the north end of Hemlock St. through the creation of Hemlock Ct.

The approximate size of the proposed lots will be:

Lot	Sq. Ft.	Lot	Sq. Ft.	Lot	Sq. Ft.
<b>L1</b>	14,687	<b>L6</b>	10,257	<b>L11</b>	10,024
<b>L2</b>	10,894	<b>L7</b>	12,694	<b>L12</b>	19,831
<b>L3</b>	13,126	<b>L8</b>	15,451	<b>L13</b>	18,489
<b>L4</b>	10,905	<b>L9</b>	47,383	<b>L14</b>	14,097
<b>L5</b>	10,024	<b>L10</b>	28,780	<b>L15</b>	10,134

Each of the proposed residential lots will exceed the 10,000 sq. ft. minimum lot size required in the R-1 zone for detached single family dwellings.

In conjunction with the subdivision request, the applicant is requesting a variance to the street design standards that requires a maximum 400 ft cul-de-sac length and the improvement standards that requires sidewalks on both sides of the street.



The subdivision review will be conducted in accordance with Section 5 of the City's Subdivision & Land Partition Ordinance (SLPO) & Article 10.070 of the Seaside Zoning Ordinance (SZO). The preliminary plat is subject to the information requirements of Section 7 and any applicable requirements in Sections 8-10 of the SLPO. The Planning Commission is required to hold a hearing to review all subdivisions even when new streets are not being created to provide access to the newly created lots.

The variance review will be conducted in accordance with Section 5 of the City's SLPO.

**DECISION CRITERIA, FINDINGS, AND CONCLUSIONS:**

The following is a list of the decision criteria applicable to the request. Each of the criteria is followed by findings or justification statements which may be adopted by the Planning Commission to support their conclusions along with any necessary conditions to ensure compliance with city ordinance. Although each of the findings or justification statements specifically applies to one of the decision criteria, any of the statements may be used to support the Commission's final decision.

**REVIEW CRITERIA #1: SLPO Section 7, the tentative plan shall contain the following information:**

1. Proposed name, date, north point and scale of drawing.
2. Location of the subdivision sufficient to define its location and boundaries and a legal description of the tract boundaries.
3. Name and address of the subdivider.
4. Appropriate identification of the drawing as a tentative plan.
5. Name, business address and number of the registered engineer or licensed surveyor who prepared the plan of the proposed subdivision.
6. The locations, names, widths, approximate radii of curves and grades of all existing and proposed streets and easements in the proposed subdivision and along the boundaries thereof, and the names of adjoining platted subdivisions and portions of the subdivisions as shall be necessary to show the alignment of streets and alleys therein with the streets and alleys in the proposed subdivision.
7. Names of the record owners of all contiguous land.
8. The approximate location and character of all existing and proposed easements and public utility facilities except water and sewer lines in the subdivision or adjacent thereto.
9. The location and approximate dimensions of each lot and each to be numbered.
10. Setback lines, if any, proposed by the subdivider.
11. The outline of any existing buildings and their use, showing those which will remain.
12. Contour lines where the data is made available by the City.
13. The location of at least one temporary benchmark within the subdivision boundaries.
14. City boundary lines crossing or bounding the subdivision.
15. Approximate location of all areas subject to inundation or storm water overflow and the location, width, high water elevation flood flow and direction of flow of all watercourses.



16. Any areas proposed to be cut or filled or otherwise graded or protected from flooding.
17. If impractical to show on the tentative plan, a key map showing the location of the tract in relationship to section and township lines and to adjacent property and major physical features such as streets, railroads & water courses.
18. Streets to be held for private use shall be so indicated and all reservations or restrictions relating to such private streets are fully described.

#### **FINDINGS & JUSTIFICATION STATEMENTS:**

1. Mailed Notice Request Summary: **22-020SUB and 22-030V**: A Subdivision request by Sunset Ridge, LLC. The subject property (T6-R10-S22AB-TL# 8100) is located north of the intersection of Hemlock St. and Aldercrest St. and it is approximately 6.62 acres in size. The subject property is zoned Low Density Residential (R1) and the request will allow the creation of 15 lots for residential development. The proposed development lots range in size from 10,024 sq. ft. to 47,383 sq. ft. The access would be provided by extending the north end of Hemlock St. through the creation of Hemlock Ct. In conjunction with the subdivision request, the applicant is requesting a variance to the 400 ft. maximum cul-de-sac length and a variance to the requirement for sidewalks on both sides of the street.
2. The applicant's supporting evidence and preliminary plan are adopted by reference. The applicant's submitted information is summarized as follows:
  - a. The applicant plans to divide the 6.62-acre subject property into 15 residential development lots.
  - b. The site is served by sanitary sewer from the northern side of the site and domestic water from the eastern sunset hills area. Power, telco, tv, and gas will also be served from the Sunset Hills area.
  - c. Storm drainage will be directed into the existing drainage ways that are currently fed by storm water from Sunset Hills. These drainages flow down to the creek that separates this site from the original Vista Ridge development.
  - d. Each development lot will have frontage on a newly developed extension of Hemlock Street. The proposed Hemlock Court right of way is 50' wide with a travel surface 26' wide with a sidewalk on one side that will extend to end of a cul-de-sac. Lots 12 and 13 will each have frontage on Hemlock Ct however, the proposed development calls for a 14' wide common access driveway with a fire truck turn around.
  - e. The new street grades range from 2% to 12%.
  - f. A 30' wide easement is proposed along the existing drainages and that will provide a 15' setback for any structures built on the proposed lots.
  - g. Each home would be provided with an NFPA-13D fire sprinkler system.



- h. The current zone allows for 5 dwelling units per acre so the 6.62-acre property has a development potential that would allow 33 dwelling units. A total of 15 are proposed.
  - i. The standards in the zone call for 10,000 square foot lots with an average lot width of at least 70' at the building line.
  - j. A Geotechnical Investigation and Geohazard Report has been prepared for the site by Mead Engineering and it does not indicate the site is unsuitable for the proposed 15 lot subdivision. The prior report for the original Vista Ridge development, prepared by Geotech Solutions in 2004, has also been submitted.
  - k. Ecological Land Services has provided a report and delineation of two separate wetlands. Wetland A is 122 sq. ft and Wetland B. is 311 sq. ft. ELS has provided maps and locations of the riverine scrub-shrub and emergent wetlands.
  - l. The ELS report has identified and mapped the center lines of two seasonal streams within the site.
  - m. A report on storm water and water flow has been submitted.
  - n. Proposed CC&Rs have been submitted however, no architectural review sheet and example house plans are included.
  - o. The applicant has provided a plan of the area to be cleared for street and utility construction, approximately 1.51 acres. Individual lots will be cleared as necessary at the time of development.
3. All of the property is currently under single ownership. The subsequent land division would create individual lots that would be developed independent of each other by the purchasers.
  4. The applicant has a certified engineer that has designed the subdivision and provided a geotechnical report for the property.
  5. The property owner has not named a state licensed architect or landscape architect that will be utilized in the planning process for the development. These services could be required by the property owner as a matter of design review for any future development on the subsequent lots or be required by any homeowner association created for oversight of any future development. Currently, there are no specific building or landscaping plans included with the proposed subdivision.
  6. The plan does not indicate whether Hemlock Ct. will be a public or private street.
  7. Hemlock Ct. is a cul-de-sac that is approximately six hundred and seventy (670') in length. SLPO Section 34 requires that a cul-de-sac be as short as possible and shall have a maximum length of four hundred feet (400'). This would require the Commission to approve a variance to the maximum length allowed.
  8. The TSP calls for local streets to have a right of way width between 34' and 40' with a travel way of 24'-30'. If there is no shoulder provided, a 5' wide sidewalk is required on both sides. The proposed street does not have sidewalks on both sides as required by the land division ordinance. This would require the Commission to approve a variance for the sidewalks based on the topographic limitations of the site.



9. Topographic factors and limited access were used to justify the narrow private street at the top of Vista Ridge and Thompson Falls. Similar factors were also used to justify the sidewalks on one side of the public streets.
10. On-street parking limitations are not addressed in the applicant's plan. However, the fire department is requiring no parking on the west side of Hemlock Ct. and around the cul-de-sac.
11. Fire flows have been identified at the closest hydrant, but the actual development will be subject to their requirements based on the understanding that sprinkler systems will be required for all future structures.
12. A drainage crossing proposed for lots 12 and 13 is indicated on the applicant's submittal. Although they do not show up on the Clatsop County Webmaps, any modifications to the existing drainages could require permits from the Department of State Lands (DSL). DSL and the Tillamook Office for Oregon Department of Fish and Wildlife will be notified of this request.
13. Traffic control signage and proposed lighting will be subject to approval by the Public Works Director.
14. The preliminary plat "New Lot Layout and Utilities" does not show water service for lots 10, 11, 12, 13, 14, and 15. The applicant has submitted a revised plan that shows water service has been added.
15. The applicants proposed utility site plan identifies the need for sanitary sewer to be pumped to the street for lots 12 and 13.

### **CONCLUSION TO CRITERIA #1**

The proposed subdivision will create 15 new lots that will have vehicular and utility access from the newly created Hemlock Ct. The below draft conditions should be considered by the Planning Commission.

**Condition 1.** Per the applicant's site plan, lots 12 and 13 will require sanitary sewer to be pumped to the newly created Hemlock Ct. Additional details regarding the pump systems that will be used for these lots will require review and approval by the Public Works Department at the time they are developed.

**Condition 2.** Plans for all utility connections must be approved by the utility providers prior to installation. In the case of the City of Seaside's utilities, the improvements must satisfy any requirements established by the City of Seaside Public Works Director.

**Condition 3.** The proposed drainage crossing that will be necessary for lots 12 and 13 will need additional detail at the time of development. The developer will need to notify and consult with ODFW and DSL of these additional details and will be subject to any permit requirements or provisions of the state.



**REVIEW CRITERIA #2: SLPO Section 48, Variance Criteria**

1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same vicinity, and result from tract size or shape, topography or other circumstances over which the owners of property since enactment of this ordinance have had no control.
2. The variance is necessary for the preservation of a property right of the applicant substantially the same as owners of other property in the same vicinity possess.
3. The variance would not be materially detrimental to the purposes of this ordinance, or to property in the same vicinity in which the property is located or other conflict with the objectives of any City plan or policy.
4. The variance requested is the minimum variance which would alleviate the hardship.

**CONCLUSION TO CRITERIA #2**

As stated in the Findings and Justification statements the applicant's supporting documentation is adopted by reference. The applicant's justification for granting a variance is the topographical constraints of the property. The applicant's proposal requires NFPA-13D fire sprinkler systems for each dwelling developed in the subdivision which allows for a narrow and longer dead end and cul-de-sac as justified by the fire code.

The topographic limitations of the property are valid grounds to support the requested variances.

**CONCLUSION & STAFF RECOMMENDATION**

Staff has not prepared a formal recommendation at this time and believes the Commissioners should review the overall development plan, hear any relevant public testimony, review and consider the proposed conditions, and prepare a list of any additional information that may need to be provided to the Commission before they make a formal decision.

*The information in this report and the recommendation of staff is not binding on the Planning Commission and may be altered or amended during the public hearing.*

**Attachments:**

Applicant's Submitted Evidence and Tentative Partition Plan



**City of Seaside, Planning Department**

989 Broadway, Seaside, OR 97138 (503) 738-7100 Fax (503) 738-8765

**Land Use Application**

Kevin Cupples, Director

PLEASE PRINT OR TYPE

NAME OF APPLICANT <b>Sunset Ridge LLC</b>	ADDRESS <b>PO Box 800</b>	ZIP CODE <b>Seaside, OR</b>
STREET ADDRESS OR LOCATION OF PROPERTY <b>Aldercrest St &amp; Hemlock St, Seaside, OR</b>		

ZONE <b>R-1</b>	OVERLAY ZONES	TOWNSHIP <b>6 N</b>	RANGE <b>10 W</b>	SECTION <b>22 AB</b>	TAX LOT <b>8100</b>
--------------------	---------------	------------------------	----------------------	-------------------------	------------------------

**PROPOSED USE OF PROPERTY AND PURPOSE OF APPLICATION(S):**

Develope vacant parcel into 15 lots

(PLEASE INCLUDE THE APPROPRIATE PLOT PLAN.

IF ADDITIONAL SPACE IS NEEDED OR SUPPLEMENTAL INFORMATION IS REQUIRED PLEASE ATTACH)

OWNER:	APPLICANT/REPRESENTATIVE (OTHER THAN OWNER):
PRINT NAME OF PROPERTY OWNER <b>Sunset Ridge, LLC</b>	PRINT NAME OF APPLICANT/REPRESENTATIVE <b>Mark Mead</b>
ADDRESS <b>PO Box 800. Seaside, OR 97138</b>	ADDRESS <b>89643 Ocean Dr. Warrenton, OR 97146</b>
PHONE / FAX / EMAIL <b>503-780-3671</b>	PHONE / FAX / EMAIL <b>503-738-2538</b>
SIGNATURE OF PROPERTY OWNER <i>[Signature]</i>	SIGNATURE OF APPLICANT/REPRESENTATIVE <i>[Signature]</i>

**CHECK TYPE OF PERMIT REQUESTED:**

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> CONDITIONAL USE         | <input type="checkbox"/> NON CONFORMING           | <input checked="" type="checkbox"/> SUBDIVISION | <input type="checkbox"/> ZONING CODE AMENDMENT |
| <input type="checkbox"/> LANDSCAPE/ACCESS REVIEW | <input type="checkbox"/> PLANNED DEVELOPMENT      | <input type="checkbox"/> TEMPORARY USE          | <input type="checkbox"/> ZONING MAP AMENDMENT  |
| <input type="checkbox"/> MAJOR PARTITION         | <input type="checkbox"/> PROPERTY LINE ADJUSTMENT | <input type="checkbox"/> VACATION RENTAL        | <input type="checkbox"/> APPEAL                |
| <input type="checkbox"/> MINOR PARTITION         | <input type="checkbox"/> SETBACK REDUCTION        | <input type="checkbox"/> VARIANCE               | <input type="checkbox"/>                       |

PLANNING DEPARTMENT USE:	
DATE ACCEPTED AS COMPLETE <b>4/18/22</b>	BY
CASE NUMBER (S) <b>22-020 SUB</b>	
HEARING DATE <b>6/7/22</b>	P.C. ACTION

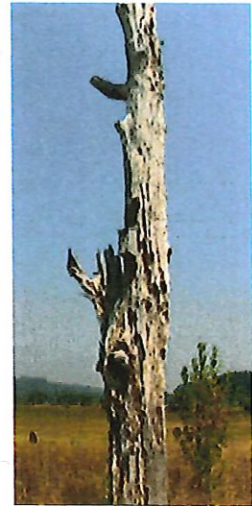
OFFICE USE:	
FEE <b>150.00</b>	RECEIPT
DATE FILED <b>4/4/22</b>	BY <b>JAS</b>





# CRITICAL AREAS REPORT

March 10, 2022



*Sunset Ridge Subdivision  
Seaside, Oregon 97138*

Prepared for  
**Sunset Ridge, LLC**  
**Brad Arnston**  
**P.O. Box 800**  
**Seaside, OR 97138**  
**(503) 780-3671**

Prepared by  
**Ecological Land Services, Inc.**

1157 3rd Avenue, Suite 220A • Longview, WA 98632  
(360) 578-1371 • Project Number 3636.01

## SIGNATURE PAGE

The information and data in this report were compiled and prepared under the supervision and direction of the undersigned.



---

Steffanie Taylor  
Senior Biologist/Principal



---

Erin Baker  
Biologist



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- Figure 3a USFWS National Wetlands Inventory
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- Figure 5 Delineation Site Map
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**Appendix C – Ground Level Color Photographs**

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- Vegetation Wetland Indicator Status
- Routine Wetland Determination Methodology
- Precipitation Data

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## INTRODUCTION

Ecological Land Services, Inc. (ELS) was contracted by Sunset Ridge, LLC to complete a wetland and waters delineation on a property in Seaside, Oregon in preparation for a future residential subdivision. The study area includes a portion of Tax Lot 61022AN08100. The total parcel is approximately 6.62 acres, and the study area totals 4.29 acres. The study area is located north of Aldercrest Street in Seaside, Oregon within Section 22, Township 6N, and Range 10W of the Willamette Meridian (Appendix A, Figure 1). Field work was conducted on October 8, 2021. This report summarizes the findings of the wetland and waters delineation in accordance with Oregon Administrative Rules (OARS) 141-090-0005 through 141-090-0055.

### A) LANDSCAPE SETTING AND LAND USE

Seaside lies within the southern extent of the Clatsop Plains, a feature comprised mainly of a mosaic of uplands, wetlands, and dunes that extends along the coast from the mouth of the Columbia River south to Seaside. The southernmost plains are drained by the Necanicum River, which flows north through Seaside before emptying to the Pacific Ocean (Eau Clair 2005).

The study area is located on a hillslope abutting the east side of the Necanicum River and Neawanna Creek historic floodplain. Two ravines, two with un-named seasonal streams are located within the study area. The eastern study area extends along the top of a third ravine. This ravine contains a fish-bearing perennial stream that is on the property but outside the study area. The seasonal streams flow into wetlands along the base of the hillside outside the study area to the north and ultimately to the un-named perennial stream, which flows into Neawanna Creek to the west. The site is located within Hydrologic unit code (HUC) 17100201, Necanicum.

Zoning of the site is Low Density Residential (R1) and it mostly consists of undeveloped, forested land. Surrounding properties consist of similarly forested parcels and lots developed for single-family or commercial use. Access to the property is along the southern boundary from an easement on Aldercrest Street.

#### *Vegetation*

Seven test plots (TPs) were taken within the study area. The majority of the study area contains mature coniferous forest dominated by Douglas fir (*Pseudotsuga menziesii*, FACU), western hemlock (*Tsuga heterophylla*, FACU), and Sitka spruce (*Picea sitchensis*, FAC) trees with an understory of red elderberry (*Sambucus racemosa*, FACU), salmonberry (*Rubus spectabilis*, FAC), and western sword fern (*Polystichum munitum*, FACU).

Vegetation along the bottom of the ravines was dominated by similar species and also contained mature red alder (*Alnus rubra*, FAC). The narrow riverine wetland areas contained slough sedge (*Carex obnupta*, OBL), salmonberry, western skunk cabbage (*Lysichiton americanus*, OBL), and lady fern (*Athyrium filix-femina*, FAC). Himalayan



blackberry (*Rubus armeniacus*, FAC) was present along open areas near the base of the ravines (see data forms in Appendix B).

### *Soils*

The U.S.D.A. Natural Resource Conservation Service Soil Survey website (NRCS 2021) designates the soils onsite as Klootchie-Necanicum complex, 30 to 60 percent slopes and Skipanon gravelly medial silt loam, 3 to 30 percent slopes. Klootchie-Necanicum complex is characterized as well drained soil with an average depth to water table greater than 80 inches below ground surface (BGS). This soil is generally found on mountain slopes with parent material consisting of colluvium and residuum derived from igneous rock and tuff. A typical profile consists of medial silt loam from 0 to 19 and medial silty clay loam from 19 to 68 inches BGS. Klootchie-Necanicum complex is not considered a hydric soil (NCRS 2019). Skipanon gravelly medial silt loam is characterized as well draining soil with an average depth to water table greater than 80 inches BGS. This soil is generally found on hillslopes with parent material consisting of mass movement deposits derived from a mixture of igneous and sedimentary rock types overlying sedimentary rock. A typical profile consists of gravelly medial silt loam from 0 to 7 inches, gravelly silt loam from 7 to 15 inches, gravelly clay loam from 15 to 44 inches, and paragravelly clay loam from 44 to 62 inches BGS. Skipanon gravelly medial silt loam is not considered to be a hydric soil (NCRS 2019).

Soils found at upland TPs 2 and 5 along the ravine slopes had loam textures and appeared to be well drained. Test Plots 3, 6, and 7 were located on the generally flat area at the top of the ravine. Soils within these test plots were loamy in the upper portion and contained a higher clay content moving down through the profile. Slower drainage in the lower profile may explain the presence of slough sedge in these plots. Soils in the two wetland TPs, 1 and 4, consisted of upper portions with sandy silt and clay loam textures, respectively with an increasing prevalence of sand with depth. Both wetland TPs had the primary hydric soil indicator Depleted Matrix (F3). The attached data sheets can be found in Appendix B.

## **B) SITE ALTERATIONS**

Property south and east (uphill) of the study area consists of an established residential neighborhood. Runoff from the neighborhood is collected in catch basins and directed to the onsite ravines through culverts. The seasonal streams both begin at the culvert discharge locations. It is not clear if portions of the ravines were filled or if upstream portions of the streams were culverted historically during construction of the neighborhood. Hydrology within the wetlands is dependent on this stormwater runoff so is likely flashy during large storms.

### C) PRECIPITATION DATA AND ANALYSIS

Precipitation information was gathered from the Seaside WETS Station (NOAA 2022) and is summarized in the table below from data in Appendix D. Rainfall in August 2021 was below average and outside exceedance levels and rainfall in September 2021 was above average and outside exceedance levels. Twenty-six percent of the monthly average rainfall was used for October as the visit occurred on October 8. Using 26 percent of the average totals for October, rainfall was also below average and below exceedance levels. It should be noted, however, that approximately 4.13 inches of rain fell two weeks prior to the site visit. Year to date rainfall was 75.83 inches and Year to date actual rainfall was 65.16 inches. According to the Direct Antecedent Rainfall Evaluation Methods (DAREM), rainfall preceding the site visit was normal, with score of 10.

**Table 1. Precipitation Data.**

Date of Visit	2 Weeks Prior	Precipitation (inches)					DAREM <sup>2</sup>		
		3 Months Prior			30% Below	30% Above	Value	Weight	Total
		Month	Monthly Average <sup>1</sup>	Monthly Actual					
10/8/2021	4.13 <sup>3</sup>	8/21	1.17	0.41	0.52	1.40	1	1	1
		9/21	2.93	6.27	1.17	3.56	3	2	6
		10/21 <sup>4</sup>	4.99	1.46	3.01	6.06	1	3	3
Rainfall 3 months prior was: drier than normal (sum 6-9), normal (sum 10-14), wetter (sum 15-18). <sup>2</sup>								10	
Year to Date Average Rainfall <sup>3</sup> : 75.83									
Year to Date Actual Rainfall: 65.16									

<sup>1</sup> Based on 1991-2021 data.

<sup>2</sup> Direct Antecedent Rainfall Evaluation Methods (Sumner et al 2009)

<sup>3</sup> Daily rainfall data occurring on 9/26/24 and 9/30/21 was missing from the Seaside station. Daily rainfall data from the Astoria Airport station was used for those days, which includes 0.44 inches and 0.60 inches respectively.

<sup>4</sup> Includes 26% October rainfall

### D) METHODS

Field work was conducted on October 8, 2021, following the Routine Determination Method (U.S. Army Corps of Engineers 2010; Appendix D). Vegetation, soils, and hydrology data were collected from seven test plots to document the presence and extent of wetlands in the study area. Field data can be found on the attached wetland determination data forms (Appendix B). Test Plots 3, 6, and 7 were taken to represent general conditions within the study area. Additionally, TPs 3 and 6 were taken in areas containing slough sedge in what otherwise appeared to be an upland coniferous forest. The remaining test plots were paired along the wetlands. Wetland boundaries were flagged with pink consecutively numbered flagging tape reading "Wetland Boundary". Test plots were flagged with plain orange flagging tape. The centerline of the streams



were surveyed as the channels was generally 3 feet or much narrower throughout the study area. Wetland boundaries were distinctive with an obvious change from upland to wetland vegetation along the base of the steep ravine slopes. The ordinary high water lines (OHWL) of the streams were similarly distinctive with a vegetation change and confining topography.

**E) DESCRIPTION OF ALL WETLANDS AND OTHER NON-WETLAND WATERS**

*Wetlands*

ELS delineated two, small riverine scrub-shrub and emergent wetlands within the study area. Wetland A totals 0.003 acres (122 sq. ft.) and Wetland B totals 0.007 (311 sq. ft.). Both wetlands are located adjacent to Stream 1, between the stream and base of the steep ravine slope within OHWL of the stream. Hydrology within the wetlands comes mainly from Stream 1 and potentially groundwater discharge at the base of the ravine slope. Hydroperiods appear to be saturated only with occasional flooding during storm events. Wetland A is located in the northeast corner of the study area, just south of the culvert where Stream 1 starts. The channel of Stream 1 is very loosely defined in this area. Wetland B is located approximately 300 feet downstream. Wetland characteristics are summarized in Table 2 below.

**Table 2. Wetland Summary.**

<b>Wetland</b>	<b>Size (Onsite)</b>	<b>HGM Class<sup>1</sup></b>	<b>Cowardin Class<sup>2</sup></b>
Wetland A	0.003 (122 sq. ft.)	Riverine	Scrub-shrub and Emergent
Wetland B	0.007 (311 sq. ft.)	Riverine	Scrub-shrub and Emergent

<sup>1</sup> NRCS 2008

<sup>2</sup> Cowardin et al 1979

*Seasonal Streams*

The centerlines of two seasonal streams, Stream 1 and Steam 2, were mapped in the study area. Both streams are located within the ravines that begin at the edge of the study area. The streams originate at culverts that discharge stormwater runoff from the neighborhood. It is not clear if portions of the ravines were filled or if upstream portions of the streams were culverted historically during construction of the adjacent neighborhood. Stream 2 flows west for approximately 80 feet before converging with Stream 1, which flows southwest through the southern portion of the study area. Both stream channels were between 6 inches and 3 feet wide, with the wider channel areas being more loosely defined. The majority of the channel widths were 1-foot wide or less. Channel substrates generally consisted of mud with some stream gravel. Stream flow is likely flashy, particularly during rainstorms. Stream 1 flows into a large wetland at the base of the hill southwest of the study area. Table 3 lists the streams found in the study area.

An unnamed fish-bearing perennial stream located within the ravine bordering the east side of the study area (offsite) also flows into the same wetland system as Stream 1. This unnamed fish-bearing stream continues west to Neawanna Creek. It is not clear if there is seasonal hydrologic connectivity between Stream 1 and the unnamed fish-bearing stream through the wetland.

**Table 3. Summary of Streams in the Study Area.**

Stream	Classification
Stream 1	Seasonal Non fish-bearing
Stream 2	Seasonal Non fish-bearing

#### **F) DEVIATION FROM NWI AND LWI**

The National Wetlands Inventory (NWI) mapping does not indicate wetlands on or within 300 feet of the study area (Figure 3a). The City of Seaside Local Wetland Inventory (LWI) depicts a large wetland system, labeled TC-4, extending into the study area and continuing to the north and west (Figure 3b). Field observations were not consistent with the NWI or LWI. The LWI-mapped wetland appears as if it should shift northwest and the hatched areas are much wider than the streams/wetlands within the ravines. No streams were mapped in the study area by either inventory.

#### **G) MAPPING METHOD**

ELS mapped the test plot and wetland flag locations with a hand-held GPS unit with approximately 3-foot accuracy. The centerline of the streams was surveyed by Mark Mead, PLS and has +/- 1-foot accuracy. The study area boundary was mapped using an aerial photo in combination with the topographic survey of the site.

#### **H) ADDITIONAL INFORMATION**

Precipitation data, vegetation information, and wetland determination methodology are located in Appendix D.

#### **I) RESULTS AND CONCLUSIONS**

ELS delineated two, small riverine scrub-shrub and emergent wetlands within the study area. Wetland A totals 0.003 acres (122 sq. ft.) and Wetland B totals 0.007 (311 sq. ft.). Both wetlands are located adjacent to Stream 1, between the stream and base of the steep ravine slope within the OHWL of the stream. Hydrology within the wetlands comes mainly from Stream 1 and potentially groundwater discharge at the base of the ravine



slope. Hydroperiods appear to be saturated only with occasional flooding during storm events.

The centerlines of two seasonal streams, Stream 1 and Stream 2, were mapped in the ravines that begin at the edge of the study area. It is not clear if portions of the ravines were filled or if upstream portions of the streams were culverted historically during construction of the adjacent neighborhood. The streams originate at culverts that discharge stormwater runoff from the neighborhood. Stream flow is likely flashy, particularly during rainstorms. Stream 2 flows into Stream 1, which continues southwesterly terminating in a large wetland at the base of the hill southwest of the study area.

An unnamed fish-bearing perennial stream located within the ravine bordering the east side of the study area (offsite) also flows into the same wetland system as Stream 1. This unnamed fish-bearing stream continues west to Neawanna Creek. It is not clear if there is seasonal hydrologic connectivity between Stream 1 and the unnamed fish-bearing stream through the wetland.

#### **J) DISCLAIMER**

---

This report documents the investigation, best professional judgment, and conclusions of Ecological Land Services, Inc. It is correct and complete to the best of our knowledge. It should be considered a Preliminary Jurisdictional Determination of wetlands and other waters, and used at your own risk until it has been reviewed and approved in writing by the Oregon Department of State Lands in accordance with OAR 141-090-0005 through 141-090-0055.

**APPENDIX A – MAPS**

---



**OREGON**



45.9936° Latitude  
-123.9077° Longitude

**LOCATION MAP**

R 10 W

6		1
	22	
31		38

T 6 N

**STUDY AREA**

**PROJECT VICINITY MAP**

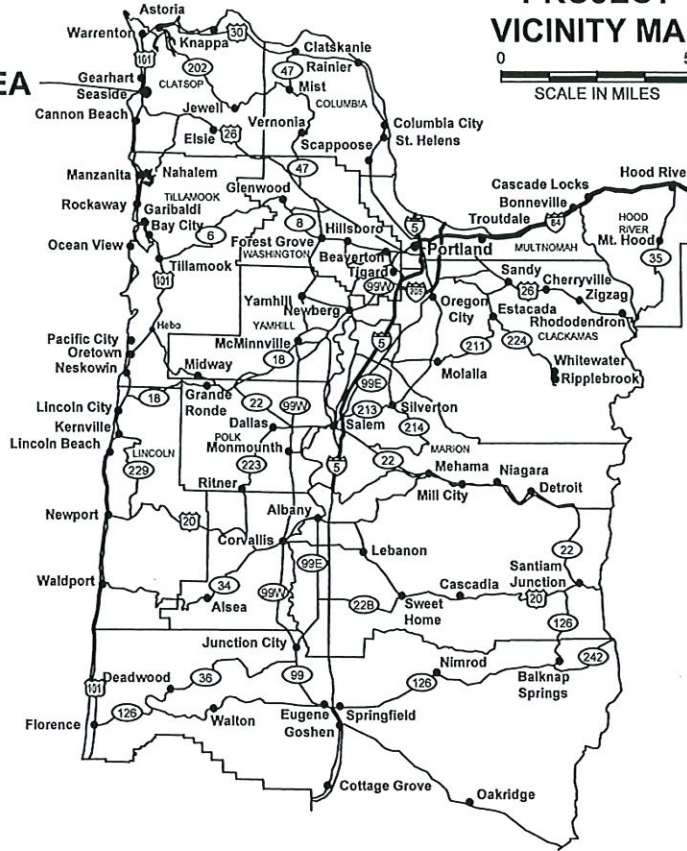


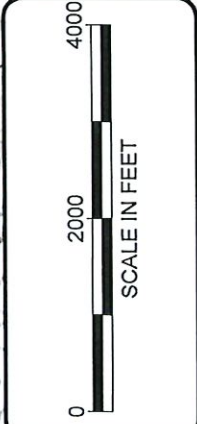
Figure 1

**VICINITY MAP**

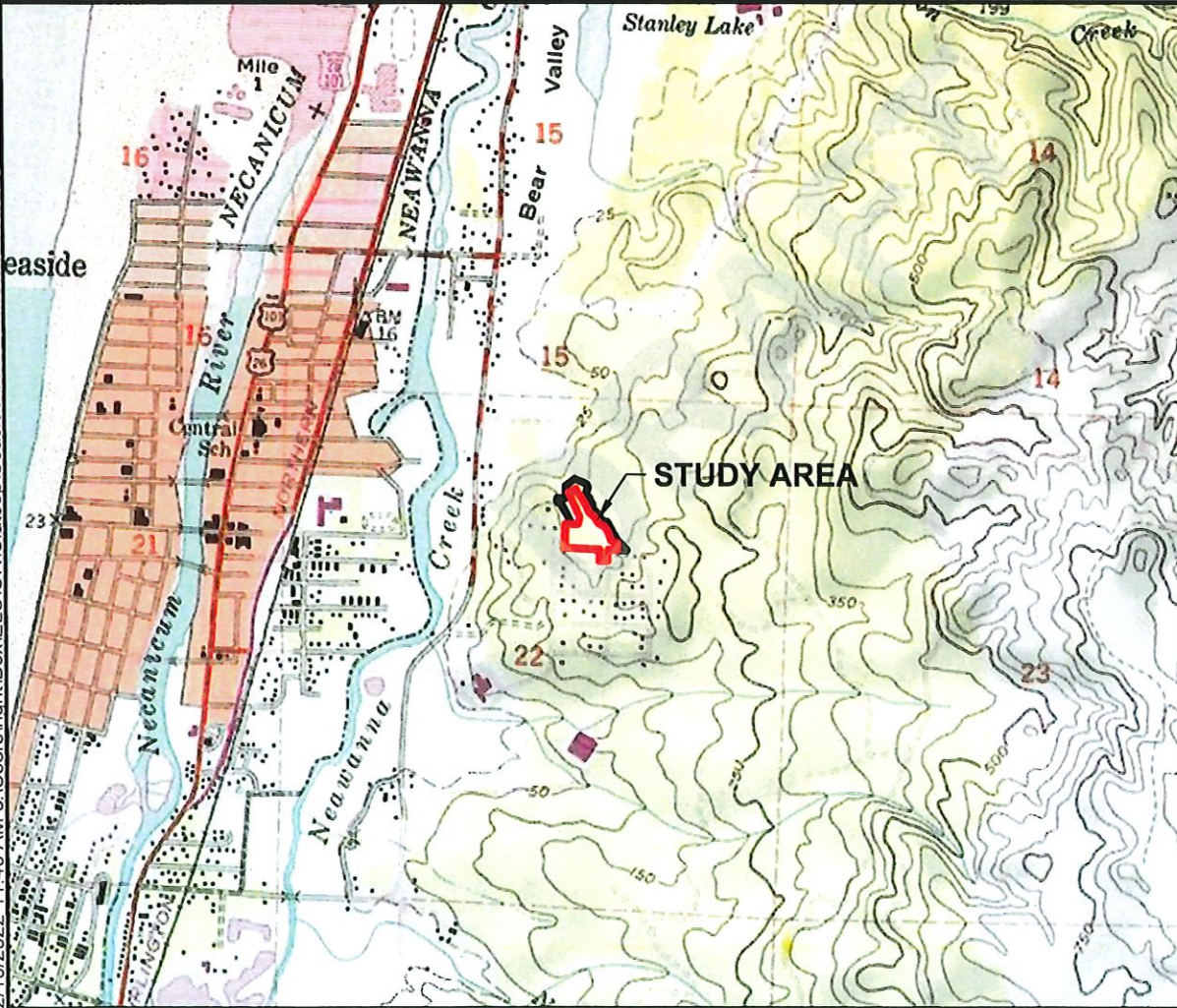
Sunset Ridge Delineation  
Sunset Rise, LLC  
City of Seaside, Clatsop County, Oregon  
Section 22, Township 6N, Range 10W, W.M.

DATE: 2/10/22  
DWN: JLL  
REQ. BY:  
PRJ. MGR: ST  
CHK:  
PROJECT NO:  
3636.01

1157 3rd Ave., Suite 220A  
Longview, WA 98632  
Phone: (360) 578-1371  
Fax: (360) 414-9305  
www.eco-land.com



**NOTE:**  
Quadrangle topographic map from USGS.

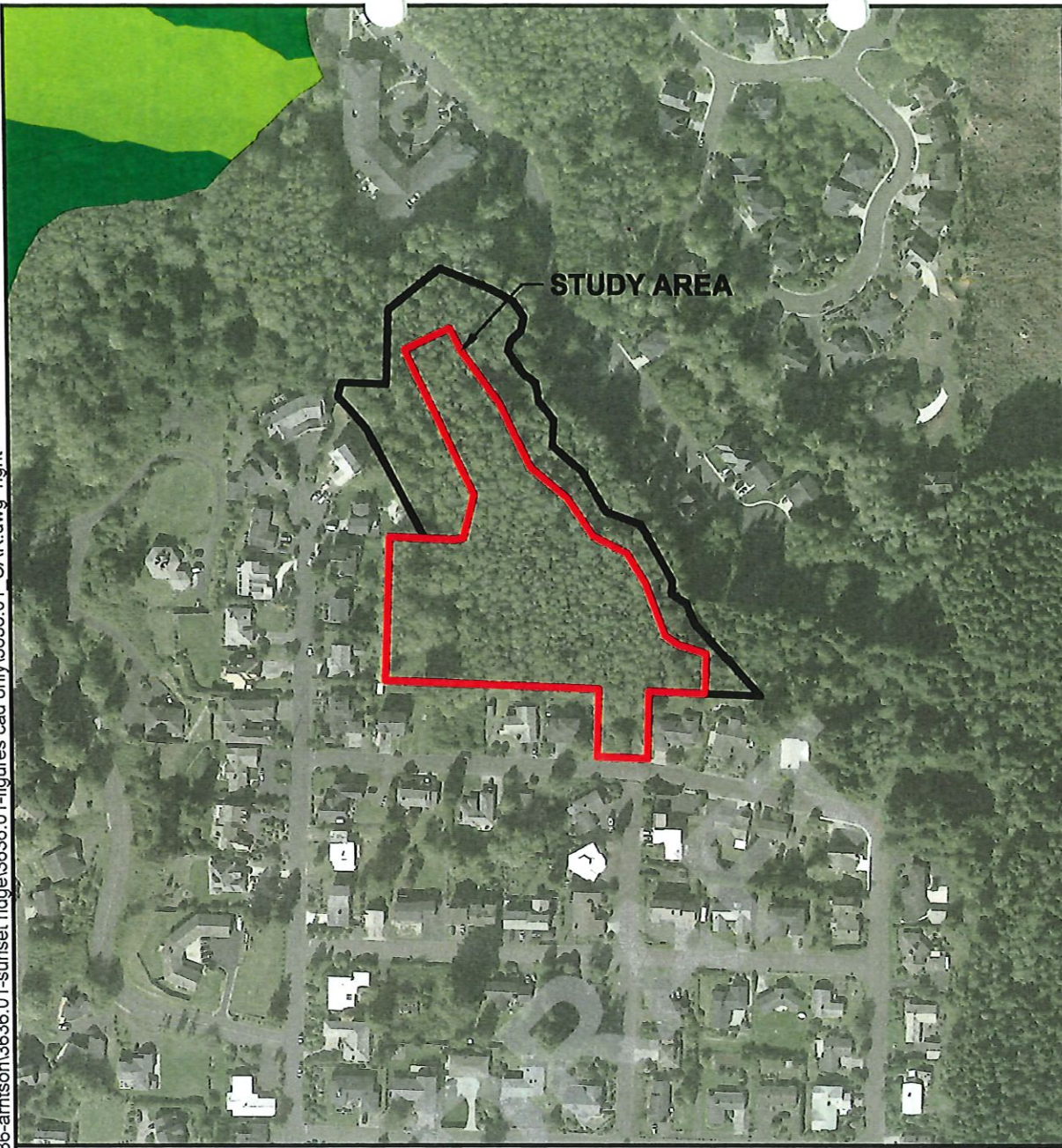


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No mapped wetlands indicated onsite by US Fish & Wildlife Service.

**LEGEND:**

-  Study Area Boundary
-  Property Boundary
- Wetlands**
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland

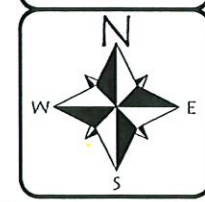
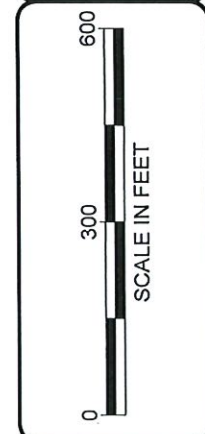
**NOTE(S):**

1. Map provided on-line by US Fish & Wildlife Service at web address: <http://www.fws.gov/wetlands/data/index.html>

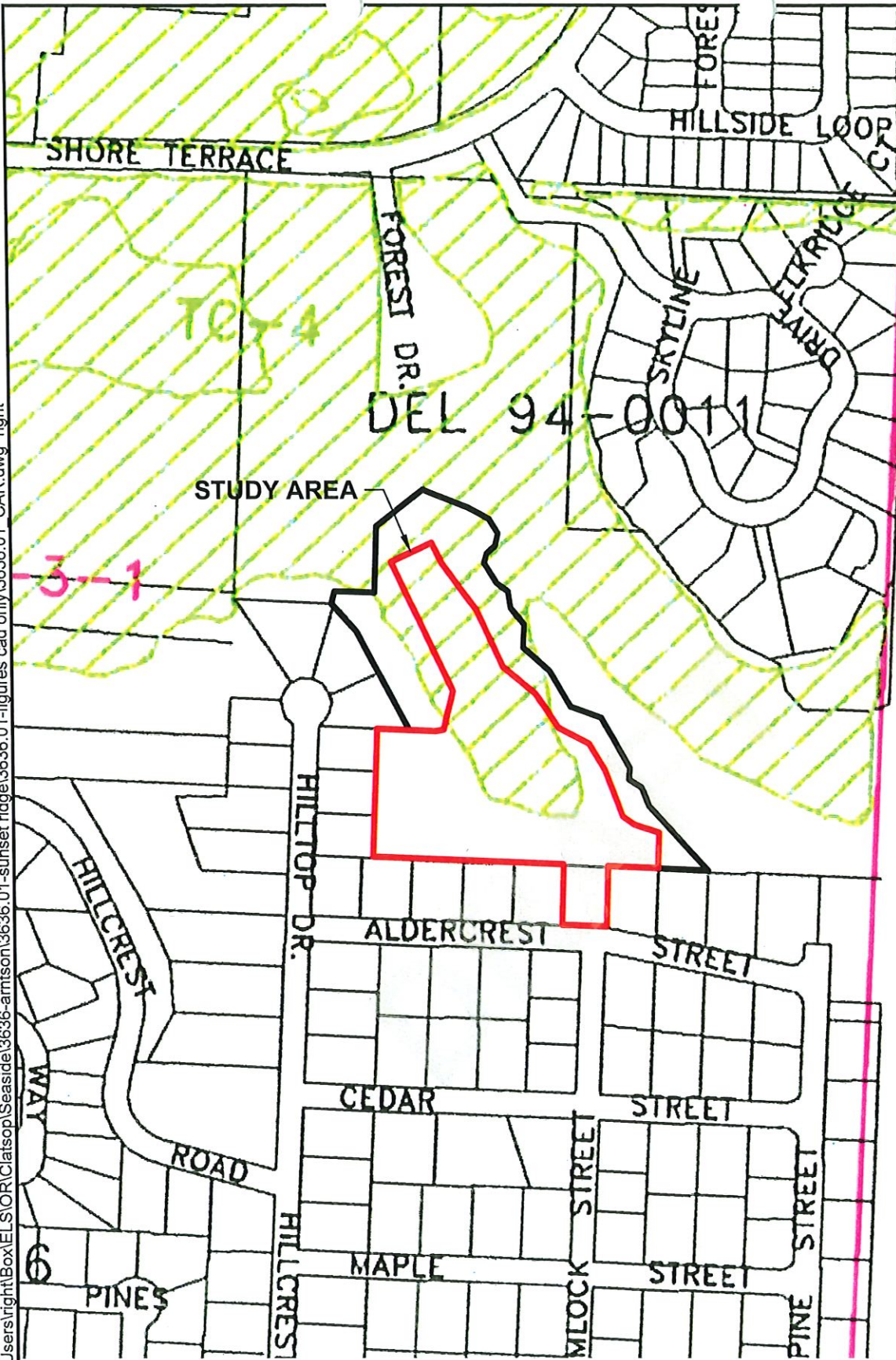
Figure 3A  
 USFWS NATIONAL WETLANDS INVENTORY  
 Sunset Ridge Delineation  
 Sunset Risge, LLC  
 City of Seaside, Clatsop County, Oregon  
 Section 22, Township 6N, Range 10W, W.M.

DATE: 2/10/22  
 DWN: JLL  
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 PRJ. MGR: ST  
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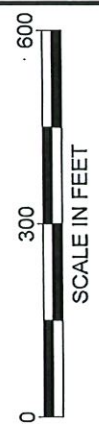


**LEGEND:**

- Study Area Boundary
- Property Boundary

**NOTE(S):**

1. City of Seaside Local Wetland Inventory prepared by the Columbia River Taskforce, 12/4/2000.



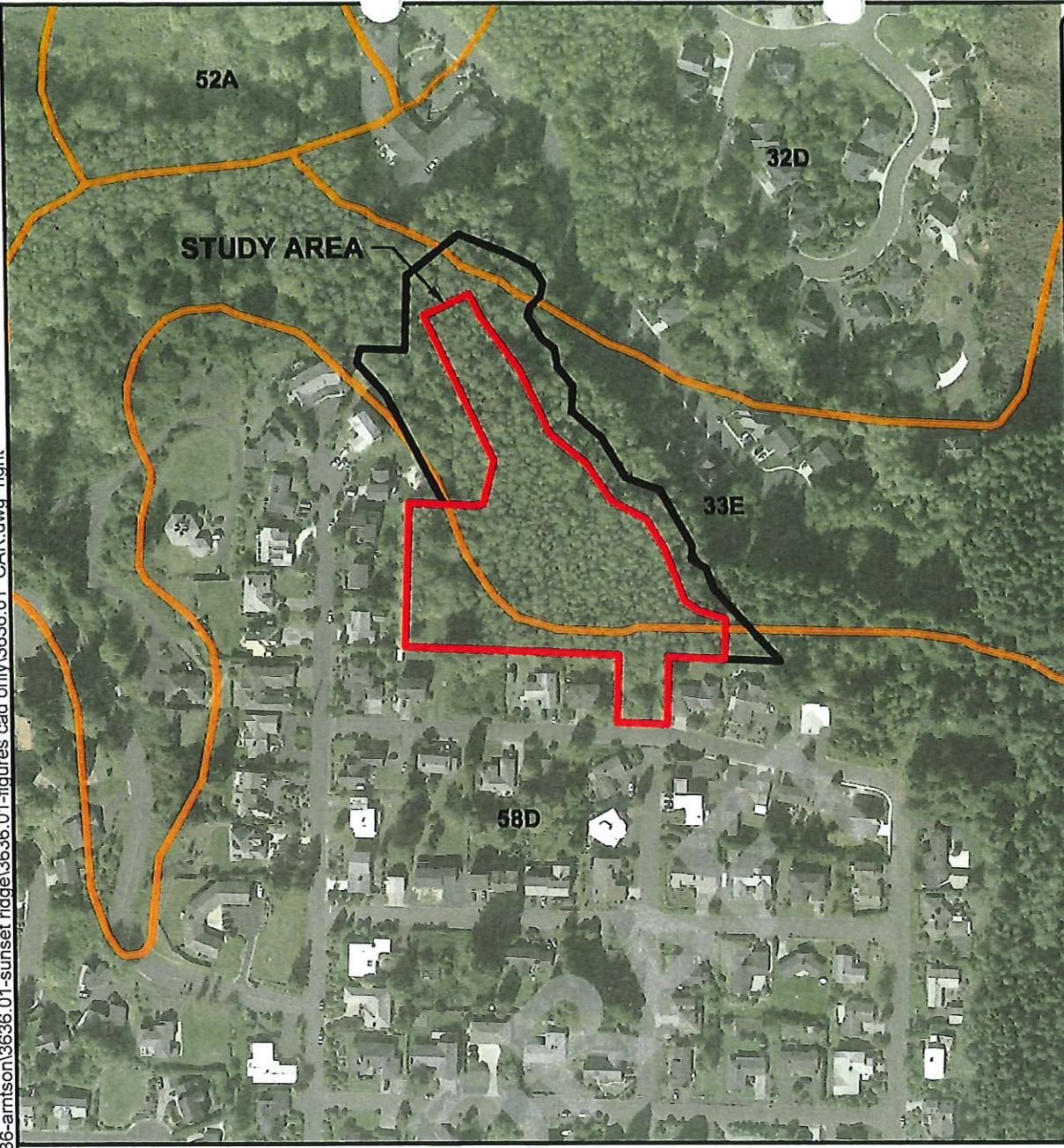
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DATE: 2/10/22  
 DWN: JLL  
 REQ. BY:  
 PRJ. MGR: ST  
 CHK:  
 PROJECT NO:  
 3636.01

Figure 3B  
 LWI  
 Sunset Ridge Delineation  
 Sunset Ridge, LLC  
 City of Seaside, Clatsop County, Oregon  
 Section 22, Township 6N, Range 10W, W.M.



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**STUDY AREA**

- LEGEND:**
- Study Area Boundary
  - Property Boundary
  - NRCS Soil Boundary
  - 33E** Klotchie-Necanicum complex, 30 to 60 percent slopes. Not hydric.
  - 58D** Skipanon gravelly medial silt loam, 3 to 30 percent slopes. Not hydric.

Figure 4  
 NRCS SOIL SURVEY  
 Sunset Ridge Delineation  
 Sunset Ridge, LLC  
 City of Seaside, Clatsop County, Oregon  
 Section 22, Township 6N, Range 10W, W.M.

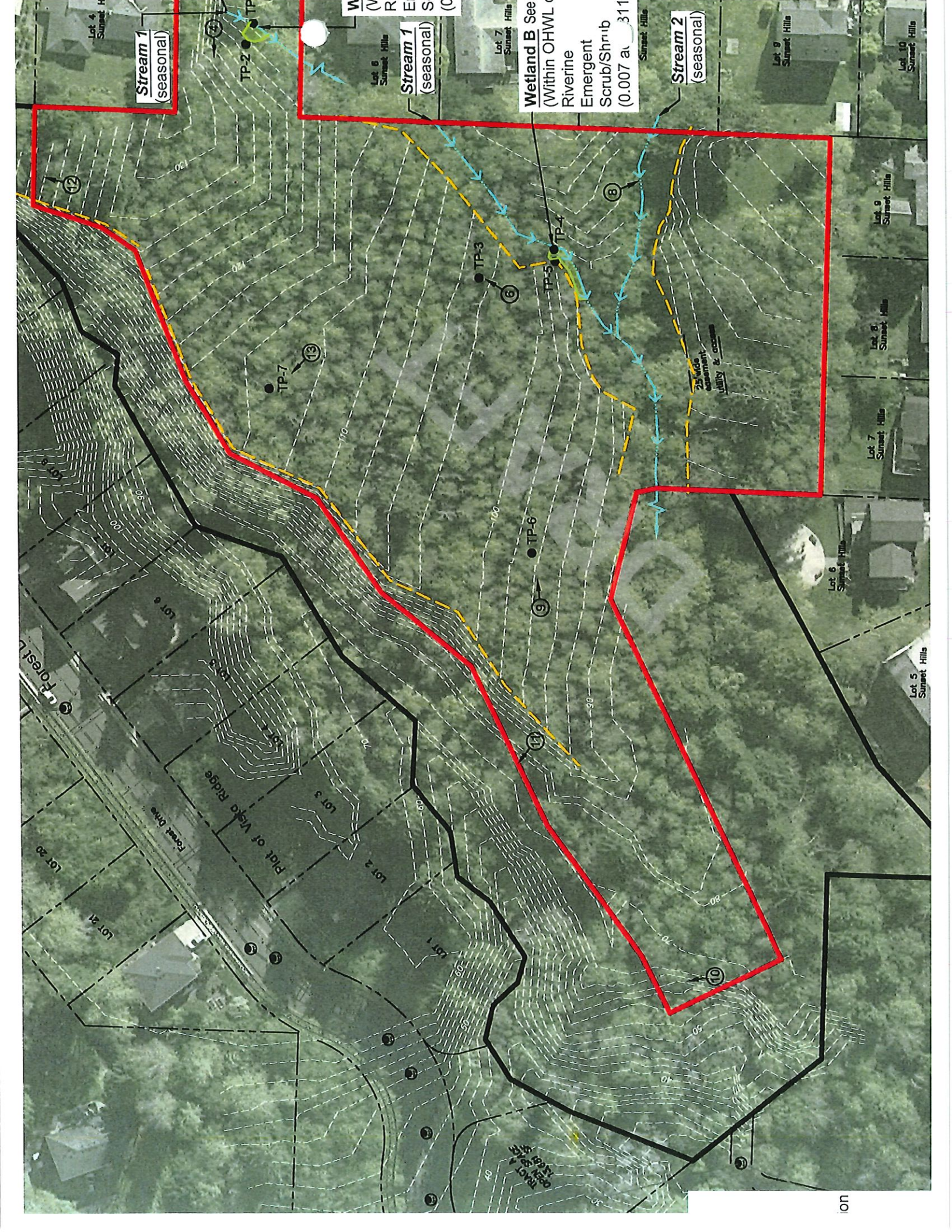
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 Fax: (360) 414-9305  
 www.eco-land.com



**NOTE(S):**  
 1. Map provided on-line by NRCS at web address:  
<http://websoilsurvey.nrcs.usda.gov/app/>





Stream 1  
(seasonal)

Stream 1  
(seasonal)

Stream 2  
(seasonal)

Wetland B See  
(Within OHWL)  
Riverine  
Emergent  
Scrub/Shrub  
(0.007 at 311)

Lot 4  
Sunset Hills

Lot 6  
Sunset Hills

Lot 7  
Sunset Hills

Lot 9  
Sunset Hills

Lot 10  
Sunset Hills

Lot 9  
Sunset Hills

Lot 8  
Sunset Hills

Lot 7  
Sunset Hills

Lot 6  
Sunset Hills

Lot 5  
Sunset Hills

Forest Drive

Pict of Veld Ridge

LOT 21

LOT 20

LOT 19

LOT 3

LOT 2

LOT 1

TP-7

TP-3

TP-5

TP-6

TP-11

TP-10

TP-4

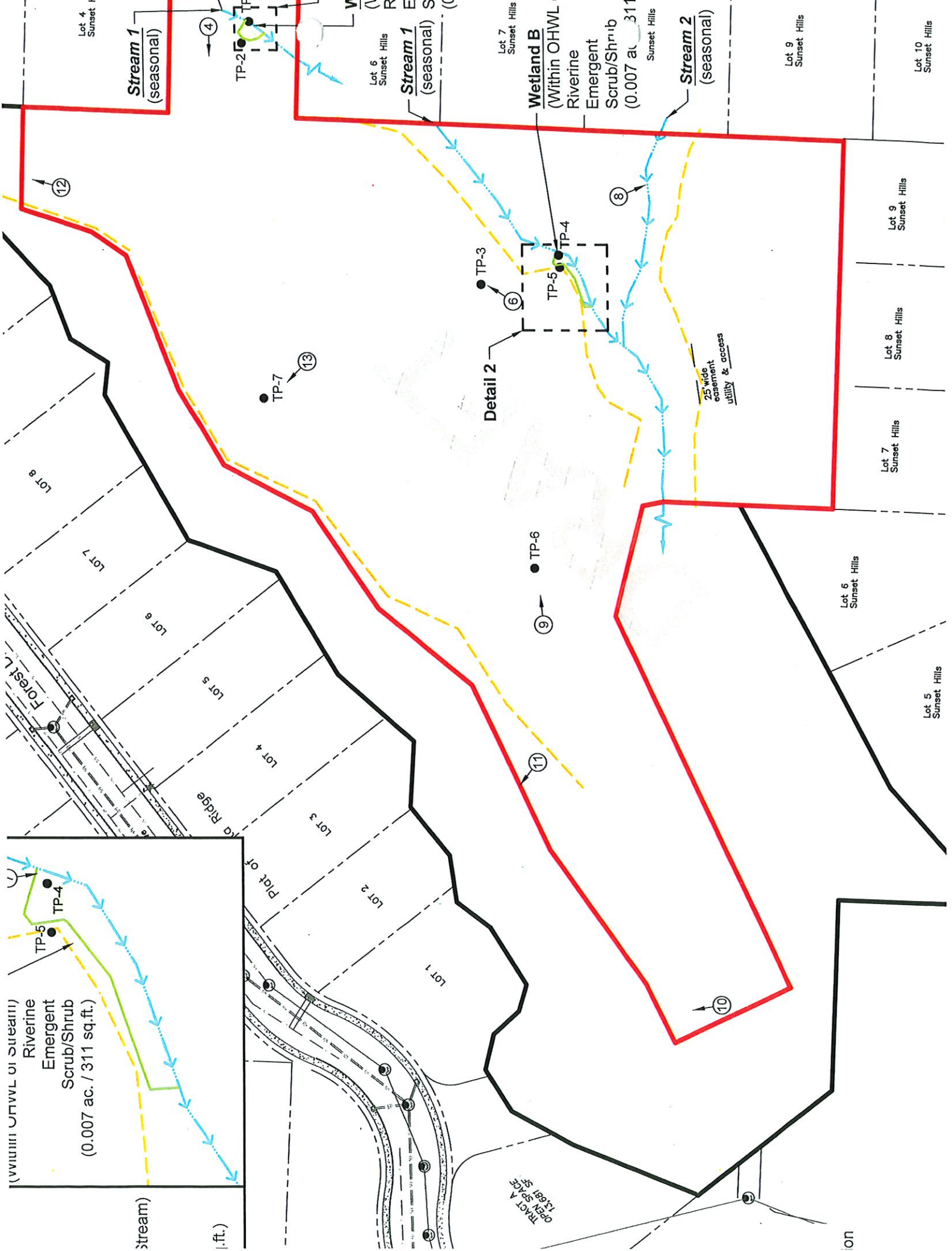
TP-2

TP-1

Wetland B  
See (Within OHWL)

on





(WITHIN OHWL OF Stream)  
 Riverine  
 Emergent  
 Scrub/Shrub  
 (0.007 ac. / 311 sq.ft.)

Stream  
 (.ft.)

TRACT A  
 OPEN SPACE  
 13.681 sq.

LOT 8  
 LOT 7  
 LOT 6  
 LOT 5  
 LOT 4  
 LOT 3  
 LOT 2  
 LOT 1

Lot 4  
 Sunset Hills

Stream 1  
 (seasonal)

TP-2

Lot 6  
 Sunset Hills

Stream 1  
 (seasonal)

Lot 7  
 Sunset Hills

Wetland B  
 (Within OHWL  
 Riverine  
 Emergent  
 Scrub/Shrub  
 (0.007 ac. / 311  
 sq.ft.))

Sunset Hills

Stream 2  
 (seasonal)

Lot 9  
 Sunset Hills

Lot 10  
 Sunset Hills

TP-7

Detail 2

TP-6

25' wide  
 easement  
 utility & access

Lot 6  
 Sunset Hills

Lot 7  
 Sunset Hills

Lot 8  
 Sunset Hills

Lot 9  
 Sunset Hills

ion

**APPENDIX B – DATA FORMS**

---



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-1  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Concave Slope (%): <1 %  
 Subregion (LRR): A4 Lat: 45.992861 Long: -123.9070793 Datum: NAD83  
 Soil Map Unit Name: Skipanon gravelly medial silt loam NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soils Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: Test Plot 1 is located within Wetland A along the southern border of the parcel. All three wetland parameters met with the Dominance Test, soils with a Depleted Matrix (F3) and Hydrogen Sulfide (A4), primary hydrology indicators including High Water Table (A2), Saturation (A3), Hydrogen Sulfide Odor (C1), and secondary indicator Geomorphic Position (D2).	

**VEGETATION – Use scientific names of plants.**

	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
<b>Tree Stratum</b> (Plot size: <u>30</u> ft radius)				
1. _____	%			Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A)  Total Number of Dominant Species Across All Strata: <u>4</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>75</u> (A/B)
2. _____	%			
3. _____	%			
4. _____	%			
50% = _____ 20% = _____	%	=Total Cover		
<b>Sapling/Shrub Stratum</b> (Plot size: <u>15</u> ft. radius)				
1. <u>Sambucus racemosa</u>	40%	yes	FACU	<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1= _____ FACW species _____ x 2= _____ FAC species _____ x 3= _____ FACU species _____ x 4= _____ UPL species _____ x 5= _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
2. _____	%			
3. _____	%			
4. _____	%			
5. _____	%			
50% = <u>20</u> 20% = <u>8</u>	40%	=Total Cover		
<b>Herb Stratum</b> (Plot size: <u>5</u> ft radius)				
1. <u>Lysichiton americanus</u>	30%	yes	OBL	<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup>  <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
2. <u>Athyrium filix-femina</u>	15%	yes	FAC	
3. <u>Ranunculus repens</u>	5%	no	FAC	
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>25</u> 20% = <u>10</u>	50%	=Total Cover		
<b>Woody Vine Stratum</b> (Plot size: <u>15</u> ft radius)				
1. <u>Rubus armeniacus</u>	30%	yes	FAC	<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	%			
50% = <u>15</u> 20% = <u>6</u>	30%	=Total Cover		
% Bare Ground in Herb Stratum <u>50%</u>				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:				

**SOIL**

Sampling Point: TP-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-4	7.5YR2.5/2	95%	5YR4/6	5%	C	M	Sandy silt	
4-8	Gley1 3/10	50%	5YR4/6	30%	C	M	Sandy silt	See Remarks Below
	5YR5/2	20%		%			Sandy silt	
8-14	Gley1 3/5	100%		%			Sand	
14-16	10YR2/1	100%		%			Sandy muck	
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Minerals (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (except MLRA 1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

Restrictive Layer (if present):

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks: Mixed matrix between 4 and 8 inches.

**HYDROLOGY**

Wetland Hydrology Indicators:

Primary Indicators (min. of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (LRR A)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC Neutral Test (D5)
- Raised Ant Mounds (D6) (LRR A)
- Frost-Heave Hummocks (D7)

Field Observations:

Surface Water Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Water Table Present? Yes  No  Depth (Inches): 12  
 Saturation Present? Yes  No  Depth (Inches): 9  
 (Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-2  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Convex Slope (%): 25 %  
 Subregion (LRR): A4 Lat: 45.992914 Long: 123.907106 Datum: NAD83  
 Soil Map Unit Name: Skipanon gravelly medial silt loam NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Remarks: Test Plot 2 is located approximately 10 feet from Test Plot 1, upslope, along the southern boundary of the parcel. No wetland parameters met.	

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30 ft radius)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
1. <i>Alnus rubra</i>	90%	yes	FAC	Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)  Total Number of Dominant Species Across All Strata: <u>6</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>33</u> (A/B)
2. <i>Magnolia grandiflora</i>	30%	yes	UPL	
3. _____	%			
4. _____	%			
50% = <u>60</u> 20% = <u>24</u>	120%	=Total Cover		<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1= _____ FACW species _____ x 2= _____ FAC species _____ x 3= _____ FACU species _____ x 4= _____ UPL species _____ x 5= _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>				
1. <i>Sambucus racemosa</i>	30%	yes	FACU	<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup>  <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
2. <i>Vaccinium parvifolium</i>	15%	yes	FACU	
3. <i>Rubus spectabilis</i>	10%	no	FAC	
4. _____	%			
5. _____	%			
50% = <u>28</u> 20% = <u>11</u>	55%	=Total Cover		
<b>Herb Stratum (Plot size: 5 ft radius)</b>				
1. <i>Polystichum munitum</i>	30%	yes	FACU	
2. <i>Athyrium filix-femina</i>	5%	no	FAC	
3. _____	%			
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>18</u> 20% = <u>7</u>	35%	=Total Cover		
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>				
1. <i>Rubus armeniacus</i>	10%	yes	FAC	<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	%			
50% = <u>5</u> 20% = <u>2</u>	10%	=Total Cover		
% Bare Ground in Herb Stratum <u>20%</u>				<b>Hydrophytic Vegetation Present?</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks:				

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-16	7.5YR3/3	100%		%			Loam	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Minerals (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (except MLRA 1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils**

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (LRR A)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC Neutral Test (D5)
- Raised Ant Mounds (D6) (LRR A)
- Frost-Heave Hummocks (D7)

**Field Observations:**

Surface Water Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Water Table Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Saturation Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 (Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-3  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Convex Slope (%): 30 %  
 Subregion (LRR): A4 Lat: 45.9933538 Long: -123.9077235 Datum: NAD83  
 Soil Map Unit Name: Klootchie Necanicum complex NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<b>Is the Sampled Area within a Wetland?</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
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Remarks: Test Plot 3 is an overall representation of the southwest study area. It was also taken in a location containing slough sedge in what otherwise appeared to be an upland area.

**VEGETATION – Use scientific names of plants.**

	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
<b>Tree Stratum (Plot size: 30 ft radius)</b>				
1. <i>Pseudotsuga menziesii</i>	50%	yes	FACU	Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A)
2. <i>Alnus rubra</i>	40%	yes	FAC	
3. _____	%			Total Number of Dominant Species Across All Strata: <u>6</u> (B)
4. _____	%			
50% = <u>45</u> 20% = <u>18</u>	90%	=Total Cover		Percent of Dominant Species That Are OBL, FACW, or FAC: <u>50</u> (A/B)
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>				
1. <i>Rubus spectabilis</i>	20%	yes	FAC	Prevalence Index worksheet Total % Cover of: _____ Multiply by: _____
2. <i>Sambucus racemosa</i>	15%	yes	FACU	
3. _____	%			OBL species _____ x 1= _____
4. _____	%			FACW species _____ x 2= _____
5. _____	%			FAC species _____ x 3= _____
50% = <u>18</u> 20% = <u>7</u>	35%	=Total Cover		FACU species _____ x 4= _____
<b>Herb Stratum (Plot size: 5 ft radius)</b>				UPL species _____ x 5= _____
1. <i>Polystichum munitum</i>	30%	yes	FACU	Column Totals: _____ (A) _____ (B)
2. <i>Carex obnupta</i>	15%	yes	OBL	Prevalence Index = B/A = _____
3. <i>Oxalis latifolia</i>	10%	no	UPL	<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>28</u> 20% = <u>11</u>	55%	=Total Cover		
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>				
1. _____	%			<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	%			
50% = _____ 20% = _____	%	=Total Cover		<b>Hydrophytic Vegetation Present?</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
% Bare Ground in Herb Stratum <u>45%</u>				

Remarks:

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-11	7.5YR3/3	100%		%			Loam	
11-16	10YR4/2	93%	7.5YR4/4	5%	C	M	Clay loam	
		%	7.5YR4/4	1%	C	PL	Clay loam	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Minerals (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (except MLRA 1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils**

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (LRR A)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC Neutral Test (D5)
- Raised Ant Mounds (D6) (LRR A)
- Frost-Heave Hummocks (D7)

**Field Observations:**

Surface Water Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Water Table Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Saturation Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 (Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: Approximately 1% oxidized rhizospheres present which is not enough to meet Indicator C3.



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-4  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Concave Slope (%): 3 %  
 Subregion (LRR): A4 Lat: 45.9932922 Long: -123.9079324 Datum: NAD83  
 Soil Map Unit Name: Skipanon gravelly medial silt NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soils Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: Test Plot 4 is located within Wetland B, a wetland in the southwestern portion of the parcel. All three wetland parameters met including the Dominance Test, hydric soil indicator Depleted Matrix (F3), primary hydrology indicator Oxidized Rhizospheres along Living Roots (C3), and secondary indicator Geomorphic Position (D2)	

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30 ft radius)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
1. _____	%			Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)  Total Number of Dominant Species Across All Strata: <u>3</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>67</u> (A/B)
2. _____	%			
3. _____	%			
4. _____	%			
50% = _____ 20% = _____	%	=Total Cover		
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>				<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1= _____ FACW species _____ x 2= _____ FAC species _____ x 3= _____ FACU species _____ x 4= _____ UPL species _____ x 5= _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
1. <u>Rubus spectabilis</u>	30%	yes	FAC	
2. _____	%			
3. _____	%			
4. _____	%			
5. _____	%			
50% = <u>15</u> 20% = <u>6</u>	30%	=Total Cover		
<b>Herb Stratum (Plot size: 5 ft radius)</b>				<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup>  <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
1. <u>Lysichiton americanus</u>	15%	yes	OBL	
2. <u>Polystichum munitum</u>	10%	yes	FACU	
3. _____	%			
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>13</u> 20% = <u>5</u>	25%	=Total Cover		
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>				<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
1. _____	%			
2. _____	%			
50% = _____ 20% = _____	%	=Total Cover		
% Bare Ground in Herb Stratum <u>80%</u>				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:				

**SOIL**

Sampling Point: TP-4

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-9	7.5YR3/3	90%		%			Clay loam	See Remarks Below
	7.5YR4/2	10%		%			Clay loam	
9-16	10YR4/1	90%	5YR3/6	10%	C	M	Sandy silt	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Minerals (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (except MLRA 1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils**

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks: Mixed matrix between 0 and 9 inches.

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (LRR A)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC Neutral Test (D5)
- Raised Ant Mounds (D6) (LRR A)
- Frost-Heave Hummocks (D7)

**Field Observations:**

Surface Water Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Water Table Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Saturation Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 (Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: Oxidized root channels are present but soils are very red, masking much of the oxidation. Soil is very moist but not saturated.



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-5  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Subform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Convex Slope (%): 30 %  
 Subregion (LRR): A4 Lat: 45.993339 Long: -123.907887 Datum: NAD83  
 Soil Map Unit Name: Kloutchie-Necanicum complex NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: Test plot 5 is located approximately 10 feet from Test Plot 4, and upslope, within the central southwest portion of the parcel.	

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30 ft radius)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
1. <i>Tsuga heterophylla</i>	50%	yes	FACU	Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)  Total Number of Dominant Species Across All Strata: <u>6</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>33</u> (A/B)
2. <i>Alnus rubra</i>	40%	yes	FAC	
3. _____	%			
4. _____	%			
50% = <u>45</u> 20% = <u>18</u>	90%	=Total Cover		<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1= _____ FACW species _____ x 2= _____ FAC species _____ x 3= _____ FACU species _____ x 4= _____ UPL species _____ x 5= _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>				<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup>  <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
1. <i>Rubus spectabilis</i>	25%	yes	FAC	
2. <i>Sambucus racemosa</i>	20%	yes	FACU	
3. <i>Ilex aquifolium</i>	5%	no	FACU	
4. _____	%			
5. _____	%			
50% = <u>25</u> 20% = <u>10</u>	50%	=Total Cover		
<b>Herb Stratum (Plot size: 5 ft radius)</b>				
1. <i>Polystichum munitum</i>	20%	yes	FACU	
2. <i>Oxalis oregana</i>	10%	yes	UPL	
3. <i>Athyrium filix-femina</i>	5%	no	FAC	
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>18</u> 20% = <u>7</u>	35%	=Total Cover		
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>				
1. _____	%			
2. _____	%			
50% = _____ 20% = _____	%	=Total Cover		
% Bare Ground in Herb Stratum <u>50%</u>				
Remarks:				

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-16	7.5YR3/3	100%					Loam	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

- Histosal (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Minerals (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (except MLRA 1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils**

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (LRR A)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC Neutral Test (D5)
- Raised Ant Mounds (D6) (LRR A)
- Frost-Heave Hummocks (D7)

**Field Observations:**

Surface Water Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Water Table Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 Saturation Present? Yes  No  Depth (Inches): \_\_\_\_\_  
 (Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-6  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Convex Slope (%): 30 %  
 Subregion (LRR): A4 Lat: 45.993875 Long: -123.908075 Datum: NAD83  
 Soil Map Unit Name: Kloutchie-Necanicum complex NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: Test Plot 6 is an overall representative plot in the central-west portion of the site. It was also taken in a location containing slough sedge in what otherwise appeared to be an upland area.	

**VEGETATION – Use scientific names of plants.**

	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet	
<b>Tree Stratum (Plot size: 30 ft radius)</b>					
1. <i>Alnus rubra</i>	50%	yes	FAC	Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A)	
2. <i>Picea sitchensis</i>	40%	yes	FAC		
3. _____	%			Total Number of Dominant Species Across All Strata: <u>6</u> (B)	
4. _____	%				
50% = <u>45</u> 20% = <u>18</u>	90%	=Total Cover		Percent of Dominant Species That Are OBL, FACW, or FAC: <u>67</u> (A/B)	
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>					
1. <i>Rubus spectabilis</i>	30%	yes	FAC	<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____	
2. <i>Sambucus racemosa</i>	10%	yes	FACU		
3. _____	%			OBL species _____ x 1= _____	
4. _____	%			FACW species _____ x 2= _____	
5. _____	%			FAC species _____ x 3= _____	
50% = <u>20</u> 20% = <u>8</u>	40%	=Total Cover		FACU species _____ x 4= _____	
<b>Herb Stratum (Plot size: 5 ft radius)</b>					
1. <i>Carex obnupta</i>	50%	yes	OBL	UPL species _____ x 5= _____	
2. <i>Polystichum munitum</i>	20%	yes	FACU	Column Totals: _____ (A) _____ (B)	
3. _____	%			Prevalence Index = B/A = _____	
4. _____	%			<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)	
5. _____	%				
6. _____	%				
7. _____	%				
8. _____	%				
9. _____	%				
10. _____	%				
11. _____	%				
50% = <u>35</u> 20% = <u>14</u>	70%	=Total Cover			
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>					
1. _____	%				<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	%				
50% = _____ 20% = _____	%	=Total Cover		<b>Hydrophytic Vegetation Present?</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
<b>% Bare Ground in Herb Stratum <u>30%</u></b>					
Remarks:					

**SOIL**

Sampling Point: TP-6

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-10	7.5YR2.5/3	100%		%			Loam	
10-16	10YR3/3	100%		%			Clay loam	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<b>Indicators for Problematic Hydric Soils</b>
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Sandy Mucky Minerals (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)	

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)	<b>Secondary Indicators (2 or more required)</b>
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Algal Mat or crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)		

Sparsely Vegetated Concave Surface (B8)

**Field Observations:**

Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	<b>Wetland Hydrology Present?</b>
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	
Saturation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	

(Includes Capillary fringe)

Wetland Hydrology Present? Yes  No

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region**

Project/Site: Sunset Ridge City/County: Seaside/Clatsop Sampling Date: 10/8/2021  
 Applicant/Owner: Sunset Ridge, LLC State: OR Sampling Point: TP-7  
 Investigator(s): Baker, Erin; Taylor, Steffanie Section, Township, Range: S22/T6N/R10W  
 Landform (hillslope, terrace, etc.): Hillslopes Local relief: (concave, convex, none): Convex Slope (%): 30 %  
 Subregion (LRR): A4 Lat: 45.9935856 Long: -123.9071402 Datum: NAD83  
 Soil Map Unit Name: Kloutchie-Necanicum complex NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain Remarks.)  
 Are Vegetation , Soil , or Hydrology  significantly disturbed? Are "Normal Circumstances" present? Yes  No   
 Are Vegetation , Soil , or Hydrology  naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Remarks: Test Plot 7 is an overall representation of the north-central portion of the study area.

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: 30 ft radius)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet
1. <i>Picea sitchensis</i>	40%	yes	FAC	Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A)
2. <i>Alnus rubra</i>	30%	yes	FAC	
3. _____	%			
4. _____	%			
50% = <u>35</u> 20% = <u>14</u>	70%	=Total Cover		Total Number of Dominant Species Across All Strata: <u>6</u> (B)
<b>Sapling/Shrub Stratum (Plot size: 15 ft. radius)</b>				Percent of Dominant Species That Are OBL, FACW, or FAC <u>67</u> (A/B)
1. <i>Rubus spectabilis</i>	40%	yes	FAC	<b>Prevalence Index worksheet</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1= _____ FACW species _____ x 2= _____ FAC species _____ x 3= _____ FACU species _____ x 4= _____ UPL species _____ x 5= _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A= _____
2. <i>Sambucus racemosa</i>	15%	yes	FACU	
3. <i>Ilex aquifolium</i>	5%	no	FACU	
4. _____	%			
5. _____	%			
50% = <u>30</u> 20% = <u>12</u>	60%	=Total Cover		
<b>Herb Stratum (Plot size: 5 ft radius)</b>				<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 – Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 – Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)  <sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
1. <i>Polystichum munitum</i>	20%	yes	FACU	
2. <i>Maianthemum racemosum</i>	5%	yes	FAC	
3. _____	%			
4. _____	%			
5. _____	%			
6. _____	%			
7. _____	%			
8. _____	%			
9. _____	%			
10. _____	%			
11. _____	%			
50% = <u>13</u> 20% = <u>5</u>	25%	=Total Cover		
<b>Woody Vine Stratum (Plot size: 15 ft radius)</b>				<b>Hydrophytic Vegetation Present?</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
1. _____	%			
2. _____	%			
50% = ____ 20% = ____	%	=Total Cover		
% Bare Ground in Herb Stratum <u>75%</u>				

Remarks:

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-10	7.5YR2.5/3	100%		%			Loam	
10-16	7.5YR3/3	100%		%			Clay loam	
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				
		%		%				

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<b>Indicators for Problematic Hydric Soils</b>
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Sandy Mucky Minerals (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)	

2 cm Muck (A10)  
 Red Parent Material (TF2)  
 Very Shallow Dark Surface (TF12)  
 Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and Wetland hydrology must be present, unless disturbed or problematic

**Restrictive Layer (if present):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

**Hydric Soil Present?** Yes  No

Remarks:

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (min. of one required; check all that apply)

<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)	<b>Secondary Indicators (2 or more required)</b>
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Algal Mat or crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)		

Sparsely Vegetated Concave Surface (B8)

**Field Observations:**

Surface Water Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	<b>Wetland Hydrology Present?</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Water Table Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	
Saturation Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (Inches): _____	

(Includes Capillary fringe)

Describe Recorded Data (Stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**APPENDIX C – GROUND LEVEL PHOTOGRAPHS**

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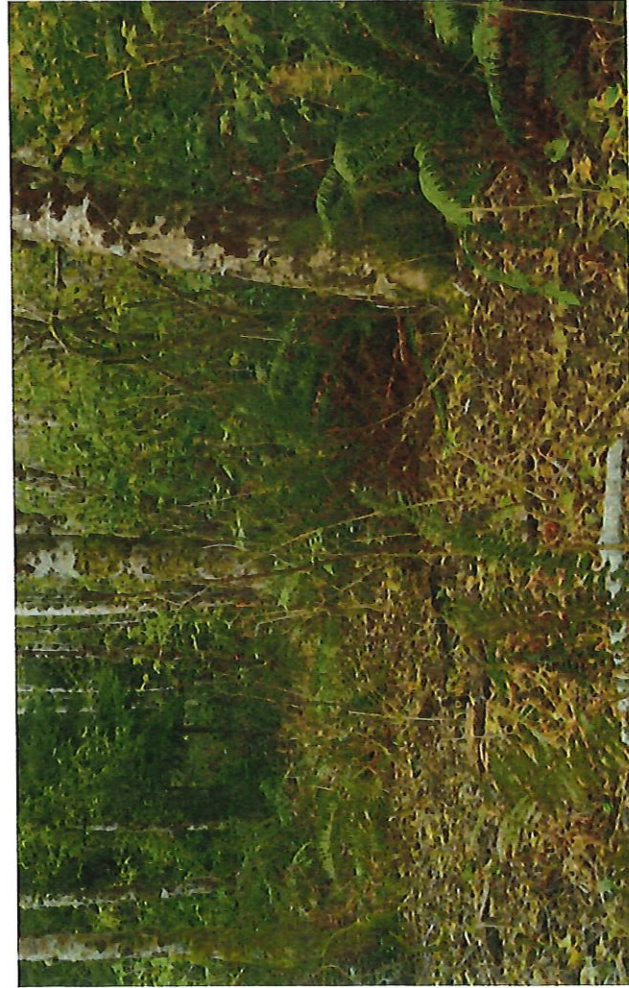
**Photo 3.** Picture taken from the same location at Photo 2 looking downstream at Stream



outh of the culvert that conveys runoff from the catch basin pictured above.







oad in the eastern portion of the study area.  
his test plot is representative of the southern portion of Stream 1.

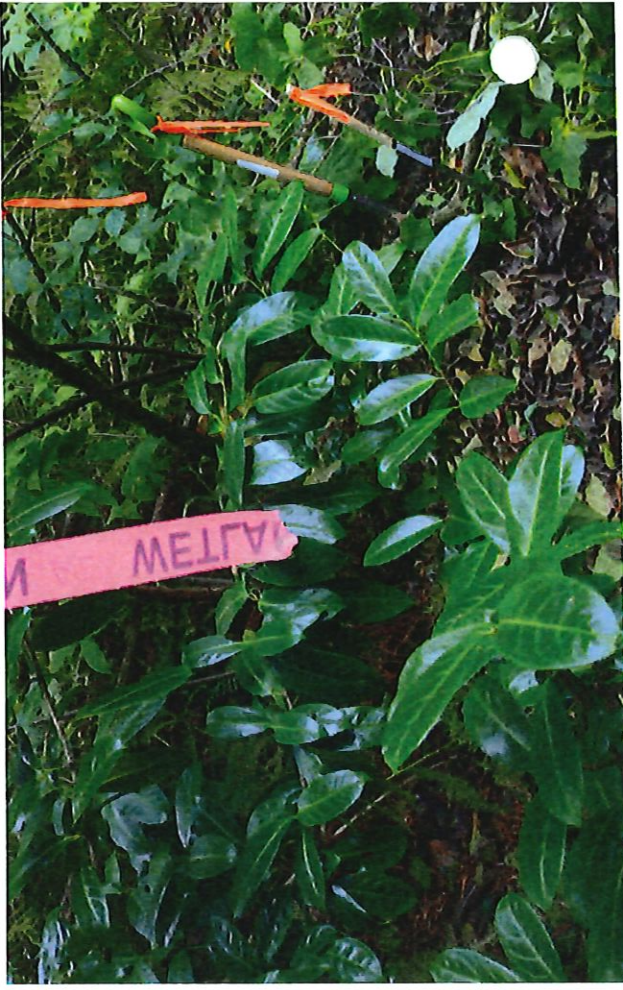


Photo 5. Wetland A facing east. Stream 1 is visible in the central-right of the picture. The  
Photo 7. Wetland B facing west. Stream 1 is barely visible to the left of the orange flag (T







ne containing Stream 2. Vegetation is representative of the southern portion of the study  
the edge of the western study area boundary.

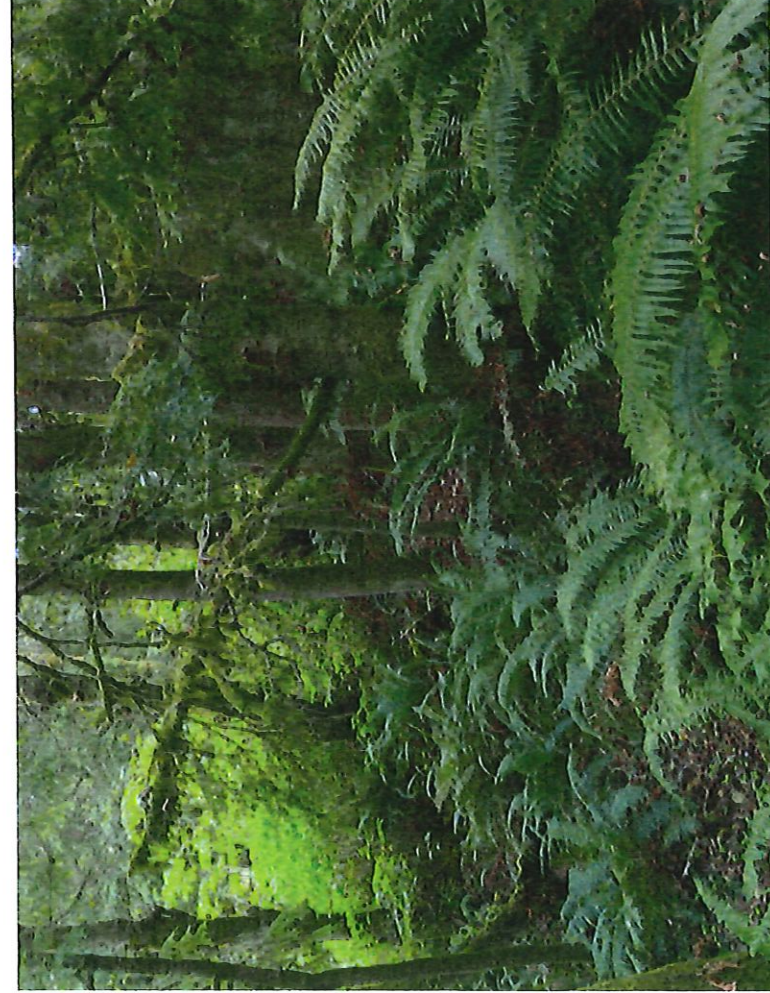


Photo 9. Test Plot 6 facing east. There was abundant slough sedge in the test plot; however  
present.

Photo 11. Looking northwest across the ravine at the northern edge of the study area. The  
edge. A house is visible on the opposite side of the ravine.







**Photo 12.** Looking northeast across the ravine in the northeast corner of the study area.

**Photo 13.** Test Plot 7 facing northwest. This test plot is representative of the conditions in the northern portion of the study area.



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DATE: 1/21/22  
DWN: ST  
PRJ. MGR: ST  
PROJ.#:  
3636.01

**Photoplate 4**  
Sunset Ridge Delineation  
Sunset Ridge, LLC  
City of Seaside, Clatsop County, Oregon  
Section 22, Township 6N, Range 10W, W.M.



## **APPENDIX D: ADDITIONAL TABLES AND INFORMATION**

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## Vegetation Wetland Indicator Status

The indicator status, following the scientific names, indicates the likelihood of the species to be found in wetlands. Listed from most likely to least likely to be found in wetlands, the indicator status categories are:

- **OBL** (obligate wetland) - occur almost always under natural conditions in wetlands.
- **FACW** (facultative wetland) - usually occur in wetlands, but occasionally found in non-wetlands.
- **FAC** (facultative) - equally likely to occur in wetlands or non-wetlands.
- **FACU** (facultative upland) - usually occur in non-wetlands, but occasionally found in wetlands.
- **UPL** (obligate upland) - occur almost always under natural conditions in non-wetlands.
- **NI** (no indicator) - insufficient data to assign to an indicator category.

## Routine Wetland Determination Methodology

The wetland delineation followed the Routine Determination Method according to the U.S. Army Corps of Engineers, *Wetland Delineation Manual* (Environmental Laboratory 1987) and the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys and Coast Region (Version 2.0)*.

The Routine Determination Method examines three parameters—vegetation, soils, and hydrology—to determine if wetlands exist in a given area. Hydrology is critical in determining what is wetland, but is often difficult to assess because hydrologic conditions can change periodically (hourly, daily, or seasonally). Consequently, it is necessary to determine if hydrophytic vegetation and hydric soils are present, which would indicate that water is present for long enough duration to support a wetland plant community. By definition, wetlands are those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands are regulated as “Waters of the United States” by the US Army Corps of Engineers, as “Waters of State” by the Oregon Department of State Lands, and locally by the City of Seaside, Oregon.

## Precipitation Information



WETS Table

WETS Station: SEASIDE,  
OR

Requested years: 1991 -  
2021

Month	Avg Max Temp	Avg Min Temp	Avg Mean Temp	Avg Precip	30% chance precip less than	30% chance precip more than	Avg number days precip 0.10 or more	Avg Snowfall
Jan	52.0	39.3	45.7	11.48	8.84	13.32	16	0.0
Feb	52.5	38.0	45.3	8.31	5.74	9.89	13	0.0
Mar	53.9	39.2	46.6	8.50	5.74	10.16	14	0.0
Apr	56.3	41.6	49.0	6.33	4.29	7.56	11	0.0
May	59.4	46.1	52.8	3.75	2.39	4.52	8	0.0
Jun	61.9	50.1	56.0	2.58	1.65	3.11	6	0.0
Jul	65.1	52.9	59.0	1.03	0.54	1.26	3	0.0
Aug	66.3	53.4	59.9	1.17	0.52	1.40	3	0.0
Sep	66.5	49.8	58.1	2.93	1.17	3.56	5	0.0
Oct	61.4	45.4	53.4	6.75	4.07	8.19	9	0.0
Nov	55.2	41.6	48.4	11.48	7.87	13.69	16	0.0
Dec	51.1	38.3	44.7	11.51	8.79	13.38	16	0.0
Annual:					67.70	85.03		
Average	58.5	44.6	51.6	-	-	-	-	-
Total	-	-	-	75.83			119	0.0

GROWING SEASON DATES

Years with missing data:	24 deg = 20	28 deg = 22	32 deg = 16
Years with no occurrence:	24 deg = 6	28 deg = 0	32 deg = 0
Data years used:	24 deg = 11	28 deg = 9	32 deg = 15
Probability	24 F or higher	28 F or higher	32 F or higher
50 percent *	Insufficient data	Insufficient data	Insufficient data
70 percent *	Insufficient data	Insufficient data	Insufficient data

\* Percent chance of the growing season occurring between the Beginning and Ending dates.

STATS TABLE - total precipitation (inches)

Yr	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annl
1930	M0.96	12.73	6.07	3.31	5.37	2.08	0.07	0.19	3.22	4.26	5.35	M5.81	49.42
1931	10.13	6.09	15.40	5.79	1.56	6.61	0.33	0.13	3.57	7.97	12.96	15.59	86.13
1932	13.38	10.90	14.61	8.48	1.37	0.53	2.07	1.92	1.08	6.66	15.36	17.23	93.59
1933	19.71	8.24	16.16	2.06	8.90	4.42	0.22	0.75	8.27			46.51	115.24
1934	14.96	2.55	7.84	2.92	4.10	0.81	1.80	2.68	2.77	12.98	14.22	12.99	80.62
1935	15.15	6.01	13.21	3.54	0.95	3.34	0.44	0.63	4.33	4.77	5.67	6.76	64.80
1936	15.98	12.40	7.30	1.51	5.92	4.72	2.66	0.53	1.88	1.43	0.95	13.95	69.23
1937	6.93	M13.07	M5.86	10.16	3.15	5.85	0.49	4.16	3.54	5.33	23.80	15.62	97.96
1938	7.74	8.00	10.05	M7.45	2.38	M0.80	0.49	0.45	1.80	M8.75	9.80	M9.32	67.03



Climatological Data for SEASIDE, OR - October 2021

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2021-10-01	59	42	50.5	11	1	0.94	0.0	0
2021-10-02	59	41	50.0	10	0	0.00	0.0	0
2021-10-03	61	41	51.0	11	1	0.17	0.0	0
2021-10-04	60	45	52.5	13	3	0.00	0.0	0
2021-10-05	60	45	52.5	13	3	0.18	0.0	0
2021-10-06	60	47	53.5	14	4	0.17	0.0	0
2021-10-07	60	36	48.0	8	0	0.00	0.0	0
2021-10-08	58	41	49.5	10	0	0.00	0.0	0
2021-10-09	61	45	53.0	13	3	0.00	0.0	0
2021-10-10	57	49	53.0	13	3	0.65	0.0	0
2021-10-11	57	40	48.5	9	0	0.11	0.0	0
2021-10-12	M	M	M	M	M	S	0.0	0
2021-10-13	56	37	46.5	7	0	0.38A	0.0	0
2021-10-14	61	49	55.0	15	5	0.14	0.0	0
2021-10-15	M	M	M	M	M	S	0.0	0
2021-10-16	M	M	M	M	M	M	0.0	0
2021-10-17	61	49	55.0	15	5	1.20A	0.0	0
2021-10-18	M	M	M	M	M	0.00	0.0	0
2021-10-19	63	39	51.0	11	1	0.00	0.0	0
2021-10-20	58	47	52.5	13	3	0.35	0.0	0
2021-10-21	68	53	60.5	21	11	0.27	0.0	0
2021-10-22	60	52	56.0	16	6	0.30	0.0	0
2021-10-23	59	51	55.0	15	5	0.45	0.0	0
2021-10-24	60	47	53.5	14	4	0.18	0.0	0
2021-10-25	56	51	53.5	14	4	0.79	0.0	0
2021-10-26	57	49	53.0	13	3	0.00	0.0	0
2021-10-27	60	50	55.0	15	5	2.00	0.0	0
2021-10-28	M	M	M	M	M	0.00	0.0	0
2021-10-29	60	49	54.5	15	5	0.00	0.0	0
2021-10-30	64	38	51.0	11	1	0.00	0.0	0
2021-10-31	M	M	M	M	M	0.00	0.0	0
Average Sum	59.8	45.3	52.6	320	76	8.28	0.0	0.0



Climatological Data for SEASIDE, OR - September 2021

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2021-09-01	63	44	53.5	14	4	0.00	0.0	0
2021-09-02	59	43	51.0	11	1	0.01	0.0	0
2021-09-03	72	49	60.5	21	11	0.00	0.0	0
2021-09-04	65	43	54.0	14	4	0.00	0.0	0
2021-09-05	68	47	57.5	18	8	0.00	0.0	0
2021-09-06	M	M	M	M	M	0.00	0.0	0
2021-09-07	M	M	M	M	M	0.00	0.0	0
2021-09-08	M	M	M	M	M	0.00	0.0	0
2021-09-09	71	47	59.0	19	9	0.00	0.0	0
2021-09-10	68	57	62.5	23	13	0.20	0.0	0
2021-09-11	65	48	56.5	17	7	0.01	0.0	0
2021-09-12	65	47	56.0	16	6	0.00	0.0	0
2021-09-13	65	48	56.5	17	7	0.00	0.0	0
2021-09-14	68	45	56.5	17	7	0.00	0.0	0
2021-09-15	68	45	56.5	17	7	0.05	0.0	0
2021-09-16	68	41	54.5	15	5	0.01	0.0	0
2021-09-17	62	51	56.5	17	7	0.03	0.0	0
2021-09-18	65	51	58.0	18	8	1.94	0.0	0
2021-09-19	64	51	57.5	18	8	1.25	0.0	0
2021-09-20	M	M	M	M	M	0.00	0.0	0
2021-09-21	76	46	61.0	21	11	0.00	0.0	0
2021-09-22	65	58	61.5	22	12	0.10	0.0	0
2021-09-23	63	44	53.5	14	4	0.00	0.0	0
2021-09-24	M	44	M	M	M	0.00	0.0	0
2021-09-25	82	51	66.5	27	17	0.00	0.0	0
2021-09-26	M	M	M	M	M	0.00	0.44	0 (Astoria Airport station)
2021-09-27	61	51	56.0	16	6	0.97	0.0	0
2021-09-28	60	52	56.0	16	6	0.54	0.0	0
2021-09-29	61	52	56.5	17	7	0.12	0.0	0
2021-09-30	M	M	M	M	M	0.00	0.60	0 (Astoria Airport station)
Average/Sum	66.3	48.1	57.3	405	175	5.23	0.0	0.0

Climatological Data for SEASIDE, OR - August 2021

Date	Max Temperature	Min Temperature	Avg Temperature	GDD Base 40	GDD Base 50	Precipitation	Snowfall	Snow Depth
2021-08-01	62	54	58.0	18	8	0.01	0.0	0
2021-08-02	61	53	57.0	17	7	0.00	0.0	0
2021-08-03	61	51	56.0	16	6	0.00	0.0	0
2021-08-04	67	54	60.5	21	11	0.01	0.0	0
2021-08-05	65	60	62.5	23	13	0.06	0.0	0
2021-08-06	64	51	57.5	18	8	0.00	0.0	0
2021-08-07	64	51	57.5	18	8	0.00	0.0	0
2021-08-08	69	55	62.0	22	12	0.00	0.0	0
2021-08-09	M	M	M	M	M	0.00	0.0	0
2021-08-10	66	53	59.5	20	10	0.04	0.0	0
2021-08-11	72	52	62.0	22	12	0.00	0.0	0
2021-08-12	74	54	64.0	24	14	0.00	0.0	0
2021-08-13	66	55	60.5	21	11	0.00	0.0	0
2021-08-14	68	58	63.0	23	13	0.00	0.0	0
2021-08-15	M	M	M	M	M	0.00	0.0	0
2021-08-16	M	M	M	M	M	0.00	0.0	0
2021-08-17	M	M	M	M	M	0.00	0.0	0
2021-08-18	68	55	61.5	22	12	0.05	0.0	0
2021-08-19	65	53	59.0	19	9	0.01	0.0	0
2021-08-20	M	M	M	M	M	0.00	0.0	0
2021-08-21	68	55	61.5	22	12	0.12	0.0	0
2021-08-22	62	54	58.0	18	8	0.00	0.0	0
2021-08-23	M	M	M	M	M	0.00	0.0	0
2021-08-24	62	51	56.5	17	7	0.00	0.0	0
2021-08-25	M	M	M	M	M	0.00	0.0	0
2021-08-26	65	47	56.0	16	6	0.10	0.0	0
2021-08-27	62	52	57.0	17	7	0.01	0.0	0
2021-08-28	62	49	55.5	16	6	0.00	0.0	0
2021-08-29	61	48	54.5	15	5	0.00	0.0	0
2021-08-30	60	49	54.5	15	5	0.00	0.0	0
2021-08-31	62	44	53.0	13	3	0.00	0.0	0
Average/Sum	64.8	52.4	58.6	453	213	0.41	0.0	0.0



**APPENDIX E – LITERATURE CITATIONS**

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**Vista Ridge #2  
Proposed 15 lot subdivision  
For  
Sunset Ridge LLC**

8 March 2022



EXPIRES 12/31/2022

Tax Lot 8100  
Tax Map 6-10-22AB

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Land Size 6.62 acres

Located north of the intersection of Aldercrest and Hemlock Street in the Sunset Hills area of Seaside, Oregon.

Current Zoning: R-1

**Project Parcel:** This is the un-developed tract 'G' of the Vista Ridge subdivision located east of Wahanna Road in the City of Seaside, Oregon. This parcel is separated from the original Vista Ridge subdivision by a creek. This site is located on the west side of the creek and will be accessed for the Hemlock and Aldercrest street intersection in the Sunset Hills area of Seaside, Oregon.

A boundary and topographic survey were completed by CKI surveying of Gearhart with the development of the original Vista Ridge subdivision. Additional survey work has also been completed by Mead Engineering. This parcel is currently covered with native trees and small under brush. The site is proposed to be cleared by Custom Excavation of Astoria, Oregon a division of Trails End Recovery. The major trees will be removed from the street and utility areas with the branches and stumps ground into chips. This clearing area will be approximately 1.51 acres out of the total 6.62 acres or 22.8% of the site. The rest of the site will not be cleared at this time. Additional clearing will be completed with the construction of each home on the site in the future.

This site is served by sanitary sewer from the northern side of the site and domestic water from the eastern sunset hills area. Power, telco, tv and gas will also be served from the sunset hills area. Storm drainage will be directed into the existing drainage swales that are fed by storm water from the Sunset Hills area. These drainage areas flow down to the creek that separates this site from the original vista ridge area. A total of 4.43 cfs of additional storm flow will be added to the drainage swale at building out.

This parcel is proposed to be divided up into 15 single family home lots. Lots will range in size from 10,024 sqft to 47,363 sqft. Lots 1-8 will be located along the eastern portion of the site.

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These lots will range for 70 to 74 feet wide. The back of these lots will have a steep slope down to the creek that separates this parcel from the original Vista Ridge subdivision. All lots shall be accessed from the new street. Lots 12 & 13 will have a common 14' wide driveway. This driveway will have a fire truck turn around on the western side of the drainage swale. This driveway will be built at the time of home construction on these two lots. Lots 10 thru 15 will be located on the western side of the new street. The new street grades will range from 2-12% slopes. A 30-foot-wide easement area is proposed along the storm drainage areas. This will also provide for a setback of the proposed houses to be a minimum of 15' from the storm drainage swale areas. The creek on the east side of the site will have a 25 to 50 foot building setback from it.

The new main street will have a 50' wide right of way with a 26' wide paved street with curbs on both sides of the street and a 5' sidewalk on the east side of the street. This is the same street width and sidewalk option as is currently in the Thompson Falls subdivision area of Seaside. The common driveway serving lots 12 and 13 will have a 14' wide driving surface located in a 50 foot total common access easement. This is the same as the very top end of Forest drive in the original Vista ridge subdivision.

This property is not located in a flood zone and is located outside above of the Tsunami zone.

A requirement that each of the homes has an NFPA-13D fire sprinkler system is also being proposed. Expected fire flows will exceed the NFPA fire code requirements of B-105.2. The fire hydrant spaces will meet the NFPA fire code requirements of table C-105.1. The cul-de-sac area at the end of the street is required to meet section 503.2.5 of the NFPA fire code. The 26 foot wide street will meet the NFPA fire code section D1.5.2. Section D107.1 of the NFPA fire code allows for up to 30 single family homes on a dead-end street with only one access.

The projected traffic impacts are estimated at 10 trips per day from the national traffic engineer's association, for a total of 150 trips per day. Broadway street which serves this area currently has a projected total of 1308 trips per day. This project will only increase this total by 11.5%. This total number maybe less considering mail and other deliveries are already serving the surrounding sunset hills area.

The current zoning of this property is R-1. This zoning allows for 5 dwelling units per acre. With 6.62 acres this would allow for a total of 33 homes to be developed on this site. A total of 15 homes is being proposed.

Standards: lot size 10,000 sqft, lot width of 70 feet at the building line.

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Density: The over density allowable is 5 units per acre. The density proposed is 2.27 units per acre.

Front yard setback: 20 feet

Side yard setback: 5 feet except on corner lots one side to be 10 feet per zoning.

Rear yard setback: 15 feet

Additional setback: 15 feet to the drainage swales and creeks through the site, also a 25 to 50 foot setback from the easterly creek area.

Height Restriction: 35 feet per zoning

Lot Coverage: allowable 35%

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21 March 2022

To: Planning Department  
City of Seaside

From: Mark Mead PE

Re: Sanitary Sewer  
Visa Ridge Tract 'G'  
Future Development Area  
15 total lots, 6.62 acres  
Tax Lot 8100, Tax Map 6-10-22AB

This property will be served by the existing sanitary sewer that flows to the sunset hills/hospital sewer pump station located on S. Wahanna road. This pump station service area has been plagued with i & i (inflow & infiltration) problems before I was city engineer in the 1980's.

Over the years improvements have been made to the pump station and a little work completed on the i & i problem. Now with the new High School added to this system the pump station is again being overloaded during heavy rain events. The new school has added equal to over 200 homes worth of flow to the system.

In order to lower the i & I problem the Sunset Hills area will need to be closely reviewed. Internal TV camering of the lines and laterals will need to be completed along with testing of the pipe joints and internal pumping of grout into the joints or slip lining to seal the pipes. The street right of way piping is concrete pipe. I am guessing that many of the manholes will also need to be resealed. There will also be some homes that have springs and ground water drains that are connected to the sanitary system instead of the storm sewer system. These will need to be corrected by the home owners at their expense. Hopefully none of the sewer lines will need to be replaced.

This type of work is expensive but is still cheaper then up sizing the pump station again.

The approval of this subdivision will not immediately affect the sewer pump station. If any repairs are needed to the tie in manhole, they will be completed by this project. Building of the homes will affect the sewer system by two ways. One is adding the additional flow to the system. A total of 15 new homes. The other is by paying the city the \$9,450.00 per house

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system development fee's which can be used to offset part of the costs of repairs to this drainage system.

There will not be any increase in flow to the city in the short time. Since it takes time to install the utilities and pave the streets. Then each house construction which will take another five to eight months to complete. Based upon this it would be close to a year before any sewer flows would reach the city sewer system. And then not all of the lots would be completed at one time so the flow increase would be a gradual rate as compared to adding the new school to the system. By the time that the flow increase is added to the system a greater amount of flow should be reduced by the city's i & i work and additional funds paid to the city for repair work to the system.

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**Storm Water Report  
for the  
Vista Ridge 2  
14 March 2022**



EXPIRES 12/31/2022

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Vista Ridge 2

Seaside, Oregon 97138

Proposed 15 lots with single family residential homes to be built on each lot. Buildings are to be wood framed construction. This project is located in a forested area of Seaside, Oregon. An undeveloped flow rate from the street and new lot areas has been calculated based upon a 10-year storm. The open space and other undeveloped areas have not been included in the calculations. The developed areas flow rate has been calculated for a 25-year storm.

The design flows are calculated using the ODOT hydraulics manual. (see attached charts from manual). A manning's 'n' of 0.40 was selected for the pre-development surface roughness based upon the existing soil and vegetation conditions of the site. Using the state formulas, a travel time of 60 minutes with a rainfall intensity of 0.90 in/hr was calculated. A runoff coefficient of 0.2 from the state's table for calculations. This rainfall intensity was then used to calculate a flow of 0.65cfs for the un-developed site. For the developed site a manning's 'n' of 0.08 was selected for dwelling areas. Again, using the state formulas with a 25-year storm a travel time of 15 minutes with a rainfall intensity of 2.35 in/hr was calculated. A runoff coefficient of 0.6 was selected for the site. This rainfall intensity was then used to calculate a flow of 5.08 cfs for a developed site. The difference between these two flow rates of 4.43cfs. When the final construction plans are completed a detailed storm water flow rate will be calculated for each catch basin and drainage area of the developed site. This will usually reduce the flow rate from the site.

### **Storm Water Best Management Practices (BMP)**

The average precipitation in the Seaside area is 67 to 86 inches per year which makes it one of the wettest cities in the United States. On average a total of 190 days per year have precipitation with June, July, August and September being the driest months according to US weather service records. A high average rainfall of 114 inches was recorded in 1933 with several years reporting over 100 inches per year. A low of 41.58 inches was reported in 1985. This information shows a wide range of precipitation which can affect the performance of the BMP system. Using the ODOT hydraulics manual with a 25-year storm a travel time of 15 minutes with a rainfall intensity of 2.35 in/hr was calculated.

Using the impervious surfaces to generate pollutant loading greatly simplifies estimating loadings because it avoids having to represent a high number of combinations of pervious soil and land cover conditions. Also, impervious areas generate most of the runoff in urban/suburban catchments and pollutant load because accumulated pollutants are readily

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washed off of impervious surfaces. In contrast, runoff volumes and pollutant load from pervious surfaces tends to be much lower and are highly variable because of attenuation by soils and vegetation. Therefore, BMPs will be designed to treat runoff from developed impervious portions of sites (roads). Four pollutants, total suspended solids (TSS), total phosphorus (TP), total nitrogen (TN), and zinc (Zn) were selected for this analysis because they are commonly associated with urban runoff. Annual average pollutant loading export rates of these pollutants were obtained from the Fundamentals of Urban Runoff Management: Technical and Institutional Issues (Shaver et al. 2007). Typical pollutant loading export rates for this land use, Pollutant loading export rates (lbs/ac-yr) Land cover/Source category TSS TP TN Zn Medium-Density Residential 250, 0.3, 3.9, 0.1 Source: Shaver et al. 2007 .

The streets have been designed to flow to catch basins that have a sediment sump in them. This will collect the major run-off items. The home driveways and roof drains will be piped to the street and also run-off into the storm water system. The yard areas will provide a small amount of run-off depending on the landscaping. The street section has been designed at a width of 26 feet to reduce the runoff and pollutant levels form the street.

The storm water will then flow through the storm water pipe system to the existing drainage swales. A rock dissipater system will be installed at the end of each storm drain pipe. This will allow for the storm water to slow its velocity and air rate the water flow for treatment of the storm water. The rest of the treatment will occur in the existing storm water drainage swale areas of the site prior to it leaving the site. This storm water will then flow northwest into the existing wetland area that eventually discharges into the Stanley Lake drainage system. This area is located on the south side of shore terrace drive. This storm drain water will not be directed northeast into the fish bearing stream that is located along the eastern boundary of the site. During the heavy rains earlier this winter the creek on the eastern side of the development overflowed its banks at the culvert that crosses shore terrace road. This then caused flooding of most of the shore terrace roadway between skyline and Wahanna road. Also, the very north end of Forest drive flooded with part of the Susanne Elize parking area. The city may consider up sizing the culvert under shore terrace for this creek area.

## **Storm System Calculations**

### **Prior to development**

Per ODOT 12.5.1.1-B pre-developed use 10-year storm

Area = 3.6 acres total area of site to be developed

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Slope of land =47' elev difference L=620' S=0.0758

n=0.40

Tnm 5min, 10min, 15min, 30min, 40min, 60min, 100min 120min

I 3.0 2.4 2.05 1.4 1.18 0.9 0.7 0.66

Tcm 35.5 38.8 41.3 48.2 51.6 57.5 63.5

Tcn=use 60 min, I=0.9

C undeveloped = 0.20

Q=CIA = 0.20\*0.9\*3.6=0.65cfs

### Site Developed

Per ODOT 12.5.1.1-B developed use 25-year storm

Area = 3.6 acres total area of developed site

Slope of land =47 elev difference L=620' S=0.0758

n=0.080

Tnm 5min, 10min, 15min, 30min, 40min, 60min, 50min

I 3.5 2.75 2.35 1.65 1.65 1.3 1.5

Tcm 12.7 14.0 14.9

Tcn=use 15 min, I=2.35

C developed = 0.6

Q=CIA = 0.6\*2.35\*3.6=5.08cfs

See State of Oregon Department of Transportation Hydraulic Manual for rain fall intensity chart, Mannings 'n' and concentration values 'C'.

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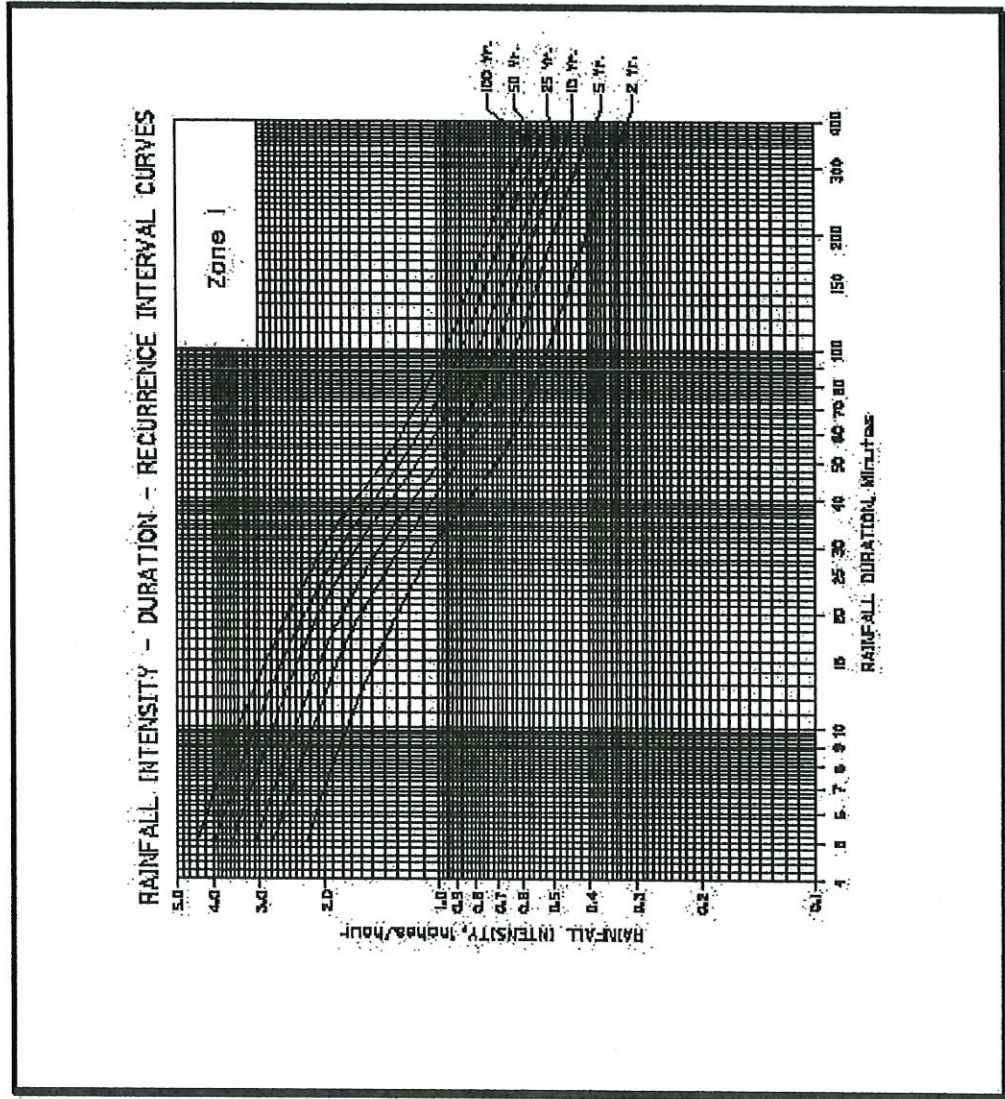
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**Table 3: Manning's Roughness Coefficients for Overland Sheet Flow**

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(Maximum Flow Depth = 1 inch)

Pavement & Roofs	0.014
City Business Areas	0.014
Graveled Surfaces	0.020
Apartment Dwelling Areas	0.050
Industrial Areas	0.050
Urban Residential Areas (more than 6 units acre)	0.080
Meadows, Pastures & Range Land	0.150
Rural Residential Areas (more than 6 units acre)	0.240
Playgrounds, Light Turf	0.240
Parks & Cemeteries, Heavy Turf	0.400
Woodland & Forests	0.400

---

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Hydrology

Table 1 Runoff Coefficients for the Rational Method

	FLAT	ROLLING	HILLY
Pavement & Roofs	0.90	0.90	0.90
Earth Shoulders	0.50	0.50	0.50
Drives & Walks	0.75	0.80	0.85
Gravel Pavement	0.85	0.85	0.85
City Business Areas	0.80	0.85	0.85
Apartment Dwelling Areas	0.50	0.60	0.70
Light Residential: 1 to 3 units/acre	0.55	0.40	0.45
Normal Residential: 3 to 6 units/acre	0.50	0.55	0.60
Dense Residential: 6 to 15 units/acre	0.70	0.75	0.80
Lawns	0.17	0.22	0.35
Grass Shoulders	0.25	0.25	0.25
Side Slopes, Earth	0.60	0.60	0.60
Side Slopes, Turf	0.30	0.30	0.30
Median Areas, Turf	0.25	0.30	0.30
Cultivated Land, Clay & Loam	0.50	0.55	0.60
Cultivated Land, Sand & Gravel	0.25	0.30	0.35
Industrial Areas, Light	0.50	0.70	0.80
Industrial Areas, Heavy	0.60	0.80	0.90
Parks & Cemeteries	0.10	0.15	0.25
Playgrounds	0.20	0.25	0.30
Woodland & Forests	0.10	0.15	0.20
Meadows & Pasture Land	0.25	0.30	0.35
Unimproved Areas	0.10	0.20	0.30

*Note:*

- *Imperious surfaces in bold*
- *Rolling = ground slopes between 2 percent to 10 percent*
- *Hilly = ground slopes greater than 10 percent*

ODOT Hydraulics Manual

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**Water Flow Report  
for the  
Vista Ridge 2  
16 March 2022**



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Vista Ridge 2

Seaside, Oregon 97138

Proposed 15 lots with single family residential homes to be built on each lot. Buildings are to be wood framed construction with a NFPA-13D fire sprinkler system installed in each house. The water for the fire sprinkler system for each building will be supplied through the water meter and service line to each building. The fire hydrant flow requirements for each building have been calculated using appendix 'B' of the 2014 Oregon Fire Code. The fire hydrant at the intersection of Hemlock and Aldercrest was recently flow tested by the City of Seaside. The obtained the following results: static pressure 73psi, residual pressure 30psi, flow 1682 gpm. The flow at 20psi is calculated at 1884 gpm. The amount required for residential homes is 1500 gpm at 20psi.

The new fire hydrants for this site will be located at the intersection of Hemlock and Fern and at the end of the cul-de-sac of Hemlock. The calculated flows are listed as follows:

Hydrant	Static pressure	Residual pressure	flow	Flow at 20psi	
Existing hyd	73psi	30psi	1682	1884	
Hemlock & Fern	82psi	56psi	1500	2399	
Hemlock Ct	86psi	54psi	1500	2217	

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**Vista Ridge #2**  
**Proposed 15 lot subdivision**  
**For**  
**Sunset Ridge LLC**

**Geotechnical Investigation**  
**And**  
**Geohazard Report**

4 March 2022



EXPIRES 12/31/2022

Tax Lot 8100  
Tax Map 6-10-22AB

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4 March 2022

Sunset Ridge LLC  
PO Box 86100  
Portland, Or 97286

**Re: Geotechnical Investigation and Geohazard Report**  
**Tax Lot 8100, Tax Map 6-10-22AB**  
**Seaside, Oregon**

Mead Engineering LLC is pleased to submit to you the findings of our onsite investigation for the tax lot stated above located in the city of Seaside, Oregon.

The purpose of this report is for the development of 15 lots on this 6.62-acre site. The site has been reviewed for surface and subsurface soil conditions for the development of this site. A total of four test pits and three auger holes have been dug on the site.

This is the un-developed tract 'G' of the Vista Ridge subdivision located east of Wahanna Road in the City of Seaside, Oregon. This parcel is separated from the original Vista Ridge subdivision by a creek along its east side. This site is located on the west side of the creek and will be accessed for the Hemlock and Aldercrest street intersection in the Sunset Hills area of Seaside, Oregon.

A boundary and topographic survey were completed by CKI surveying of Gearhart with the development of the original Vista Ridge subdivision. Additional survey information has been collected for this site. This parcel is currently covered with native trees and small under brush. The site is proposed to be cleared by Custom Excavation of Astoria, Oregon a division of Trails End Recovery. The street and utility areas will be cleared at this time from the site, the branches and stumps shall be ground into chips and spread on the site or hauled off as needed. The area along the east creek will not have any of the nearby trees removed.

This site is served by sanitary sewer from the northern side of the site and domestic water from the eastern sunset hills area. Power, telco, tv and gas will also be served from the sunset hills area. Storm drainage will be directed into the existing drainage swales that are fed by storm water from the Sunset Hills area. These drainage areas flow down to the creek that separates this site from the original vista ridge area.

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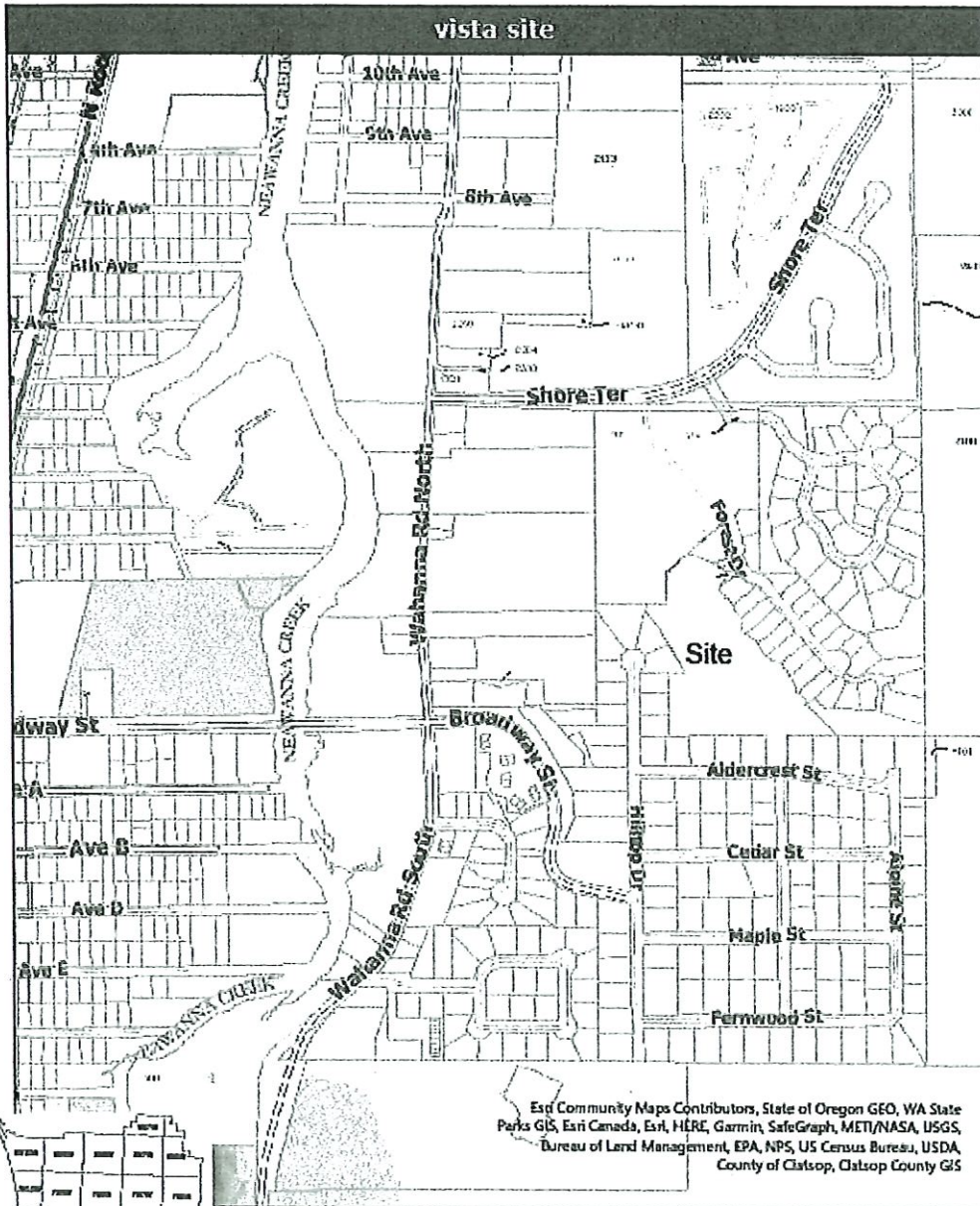


# Mead Engineering

89643 Ocean Drive, Warrenton, Oregon 97146

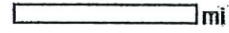
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**Clatsop County**

0.2



*This map was produced using Clatsop County GIS data. The data is maintained by Clatsop County to support its governmental activities. Clatsop County is not responsible for any map errors, possible misuse, or misinterpretation.*

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## **Mead Engineering**

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This parcel is proposed to be divided up into 15 single family home lots. Lots will range in size from 10,025 sqft to 47,363 sqft. Lots 1-8 will be located along the eastern portion of the site. These lots will range for 70' to 75 feet wide. The back of these lots will have a steep slope down to the creek that separates this parcel from the original Vista Ridge subdivision. Lots 6 thru 8 will be allowed build over the top of the existing bank with daylight basement type house plans. Lot 9 will be allowed to build within 50 feet of the rear lot line. This house will most likely be a daylight basement type home. Lots 10 thru 15 will be located on the western side of the new street. Lots 10 and 11 will also be daylight basement type homes. A narrow common driveway with a fire truck turn around heading west from the new street will provide access to lot 12 & 13. This driveway will be built at the time of the new home construction. These two lots will need to have a sewer pump to access the gravity sewer at the time of construction. The new street grades will range from 2-12% slopes. A 30-foot-wide easement area is proposed along the storm drainage areas on the western side of the site. A 25-to-50-foot area is also proposed along the eastern creek area. This will also provide for a setback of the proposed houses to be a minimum of 15' from the creek storm drainage areas.

A single-family home is being proposed for each lot at the completion of the subdivision development. Each home plan and lot shall be reviewed separately in more detail at the time of construction for each lot. It is assumed that the homes will be one or two story tall and will have a concrete foundation with wood frame walls and roof structure above. They shall meet the current building codes at the time of construction along with the 135-mph exposure 'B' wind loading. A soil bearing value of 1500 psf shall be allowed for each lot without further investigation.

Since most of the lots only have 4-8 feet of fall across the building area it is assumed that only minor excavation and filling will be required for these lots. The daylight basement areas will need to be designed at the time of construction to meet soil loads per there projected heights.

### **Soils**

An onsite review of the site has been completed along with four test pits dug with a small excavator. An additional three augur holes where also completed. Geo solutions also completed four test pits on this site. It is assumed that no building will be occurring in the steep slope area adjacent to the creek along the eastern boundary of the site for lots 1-6. The other drainage swales on the site will also have a building setback distance of 15 feet from the center of these drainage areas. Also, adjacent property reports and general knowledge of the adjacent sunset and vista ridge 1 home sites has been reviewed.

Mark M. Mead

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Geotechnical Engineer Oregon 12181

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The subsurface site conditions were obtained from the four test pits and three auger holes dug on the site and evaluations of adjacent home sites over the years as they have been developed. All of the test pits except pit #1 were dug to a depth of 7 feet. Test pit number 1 was dug only to 5 feet due to the presences of rock.

The surface top soils ranged from 6-12 inches of organic dark brown soft silty loam soil. Below this was a layer of brown stiff moist clayey silt soils to a depth of 3 to 4 feet. Below this the soil is light tan moist clayey silt, sandy soils. No ground water was encountered but I would assume that ground water may be encountered near the drainage areas. Test pit #1 was stopped at a depth of 5 feet. At this point the soil turned to a pit run rock clay mix that was very hard to excavate. This same rock formation has been encountered on the east side of the creek. I would expect the rear section of the east lots along the top of the creek swale to have this same formation at about the same depth. Samples of the soils were tested on site with a pocket penetrometer for bearing values. Other tests of the soils have previously been completed by Geo Solutions on the site soils. There test data matches what I would expect from the existing soils.

### **Soil Bearing value 1500 psf**

**Footings:** 6" deep and 12" wide footings with 2-#4 rebar's for one story and 8" deep and 16" to 24" wide for two story. Footing shall bear on the existing sand soils.

Point loadings shall not exceed 2000 psf bearing pressures.

**Footing Cover:** The cover over the new footing shall be a minimum of 6" of soil over the top of the footing.

**Rain Drains:** All rain drains to be directed away from the foundation to the drainage swales or street. They shall not be directed over the steep slope to the east creek area on lots 1 thru 6.

**Backfill:** Foundations to be back filled as soon as possible once completed. The backfill shall be completed with the soils stored onsite or imported material. Backfill material shall be seeded with grass seed as soon as possible to prevent erosion.

**Erosion Control:** Soil areas left exposed shall be covered with straw and seeded with grass. Silt fencing, compost berms or straw bales shall be used on the downhill sides of excavations and stock piles to prevent soil erosion. Cut slopes shall have grass seed placed on them as soon as possible after final shaping. Other vegetation may be planted on them to help prevent erosion and stabilize surface soils. Final landscaping to be completed by the home builders and home owners.

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### **Cut Slopes**

Any cut slopes shall be shaped to a final slope of 1.75:1 or flatter. The surface of all cut slopes shall be covered with grass or other vegetation. Slopes steeper than 1.75:1 shall have a rock ballast installed as approved by the engineer.

### **Retaining Walls**

Any retaining walls installed on the site shall be engineered assuming a soil weight of 120 lbs/cuft. A sliding resistance of 0.35 should be used unless crushed rock is placed under the wall. Then this factor may be increased to acceptable engineering factors.

### **New Underground Utilities**

The new underground utilities installed on the site shall be backfilled above the pipe zone with crushed rock in the street areas and native clay soils compacted in place outside of the street areas.

### **Street Pavement Sections**

The new paved roadway shall have crushed rock base over 3" minus rock base. A total of 12" of rock shall be placed prior to paving the street. The street asphalt shall be a minimum of 3" thick placed in one lift. All street and underground utilities in the street right of way area shall meet the city of Seaside and APWA standards.

### **Steep Slope area**

The steep slopes along the eastern boundary of the site that go down to the creek bed shall not be built upon for lots 1 thru 5. The homes may be placed within 5 feet of the top of these slopes as long as the footing is buried into the soil a depth to make a maximum bearing slope of 45 degrees from the bottom of the footing out to the face of the slope. The other lots along the east steep slope area shall be daylight type basements.

### **Home Construction**

Each lot shall have a separate evaluation completed based upon the final home site design. An engineer or geologist shall review each plan and write recommendations for each lot. An onsite inspection of the completed home excavation shall also be completed for each house plan. A final grading onsite review and approval shall be completed once the foundation has been completed and backfilled.

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### **Earthquakes**

Oregon coastal property owners are advised that there is now abundant evidence for a series of geologically earthquakes. The building codes have raised the level of earth quake hazards from a level of zone 2 in 1976 to a level of zone 3, category II. Liquefaction of dune sands may be induced by seismic activity. This seismic activity may occur in the next 500 to 1000 years according the USGS agency. Due to the fine grain, clayey soils a significant earthquake could cause significant damage to structures on this site and the surrounding area. The structure shall be designed to the state of Oregon Building codes. The site is located above the tsunami area and structures may still become damaged if a significant wave does hit this coastal area. The owners shall be aware of the tsunami warning and evacuation routes for this area. This area of Clatsop County was faced with a tidal wave in the 1960's and the fore dune area deflected it but it did go up the Necanicum and Neawahana estuaries.

A regional seduction zone earthquake nearby in the Pacific Ocean has a 15 to 50 percent chance of occurring in the next 50 to 100 years. A large earthquake in the magnitude of 6.0 or more could trigger the old deep seeded slides in this area. An earthquake of a large magnitude will probably damage buildings in this area along with most of the other structures in the county. A large near shore earthquake near the beaches of Clatsop County will probably produce a tsunami wave which will enter the Necanicum River and its estuary areas. Local small flooding may occur on property below this site. If this happens access to the site may be cut off from the rest of the surrounding area of the county.

This letter and recommendations shall only apply to this site for the construction of new 15 lots and general construction of the future residential buildings as shown on the preliminary plat of Vista Ridge 2. No warranties shall be implied or expressed. If any changes are made to these recommendations, then the engineer shall be consulted. This letter and recommendations have been prepared based upon a reasonable budget and assumed methods of construction.

The services performed by the engineer for this project have been conducted with that level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranty, expressed or implied, is made.

We sincerely appreciate the opportunity to be of service to you on this project. Should you have any questions concerning the information presented herein, please call.

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Respectfully Submitted,

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**Subdivision near Sunset Hills  
Seaside, Oregon**

**Geotech**  

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**Solutions Inc.**

April 15, 2004

GSI Project: Maltman-04-01-gi



Mike Maltman  
809 S Holladay, Suite C  
Seaside, OR 97138  
Fax# 1.503.738.5787

## **GEOTECHNICAL ENGINEERING REPORT**

### **Subdivision near Sunset Hills – Seaside**

As authorized, we appreciate the opportunity to present this geotechnical engineering report for the proposed residential development in Seaside, Oregon. Based on the plan you provided from CKI dated January 26, 2004 and our site meeting, we understand development will likely be completed in two phases; east and west. The eastern phase will likely be developed first and include approximately 24 lots and 1,100 lineal feet of new road, and related utilities. The western phase will include 12 lots and 900 feet of new road. Preliminary grading for the first phase of the development includes fills of up to 6 feet and cuts of up to 8 feet.

The purpose of our work was to evaluate relevant subsurface conditions and provide a geotechnical report addressing site development, with emphasis on slope stability. Specifically, our scope of work included the following:

- Provide principal level project management including management of field and subcontracted services, report writing, analyses, and invoicing.
- Review the geologic hazard report and vicinity geotechnical information as indicators of subsurface conditions.
- Complete a site reconnaissance to observe surface features relevant to geotechnical issues, such as topography, vegetation, presence and condition of springs, exposed soils, evidence of previous grading, and an evaluation of slope stability.
- Identify exploration locations and coordinate possible location conflicts with utilities.
- Explore subsurface conditions by excavating 8 test pits to depths of up to 11 feet using a moderate size track mounted excavator.
- Classify and sample the materials encountered and maintain a detailed log of the explorations.
- Determine the moisture content of selected samples obtained from the explorations.
- Evaluate the qualitative impacts of development on site stability.
- Provide recommendations for earthwork including seasonal material usage, use of granular working pads, cut and fill slope inclinations, and fill preparation and compaction.
- Provide qualitative recommendations for residential foundation support, including suitable soils for footing support, slope setbacks, minimum embedments, and need for perimeter drainage.
- Provide recommendations for pavement subgrade preparation as well as the need for stabilization and/or geosynthetics.
- Provide recommendations for base rock and asphalt concrete pavement materials and thicknesses, as well as installation criteria.
- Provide a written report summarizing the results of our geotechnical evaluation.

### **SITE GEOLOGY**

A review of geologic maps of the area (DOGAMI Bulletin 74) indicates the site is underlain by Oligocene to Miocene aged Sedimentary Rock (Toms) and located in landslide topography. The sedimentary rock is composed of bedded siltstone, claystone, and sandstone, with basaltic sandstone and conglomerate in localized areas.



A geological report is currently being prepared for the project and was not available at the time this report was prepared. The site is located within the regional Cascadia Subduction Zone whose interface is capable of rupture in large magnitude earthquakes, with associated subsidence, and tsunami runup at elevations lower than the site.

## **SITE OBSERVATIONS AND CONDITIONS**

### **Surface Conditions**

The site is located east of Wahanna Road, northeast of the Sunset Hills Addition, and southwest of Sunset View Estates, in Seaside, Oregon. The proposed development will be constructed on moderately sloping terrain with inclinations generally averaging between 6H:1V and 2H:1V, and become increasingly steep along the back of most lots, approaching 1.5H:1V. General site topography is shown on the attached **Site Plan** (base provided by CKI). The planned road will generally follow an existing ridge, with steep ravines on either side (which makes up the back lot lines for lots along the road). The site has previously been logged as evidenced by the presence of several stumps. The site is heavily vegetated with grass, brush, and both deciduous and evergreen trees.

### **Subsurface Conditions**

We explored the site on April 2 and 7, 2004, by excavating eight test pits to depths of up to 11 feet at the approximate locations indicated on the attached **Site Plan**. Our explorations were completed along the ridges, following the new road alignment.

Soils encountered consisted of silt topsoil over silt with variable amounts of sand and clay and occasional basalt and siltstone fragments. These materials are likely underlain by massive siltstone and/or basalt breccia. The silt unit was generally medium stiff to stiff, with zones/lenses of sandy silt. Several explorations encountered gravel-size basalt and siltstone fragments in a silt matrix and subrounded siltstone and basalt gravel. Basalt and basaltic boulders/large inclusions may be present near the site surface, particularly on the ridges.

**Ground Water** - Slow to moderate seepage was observed in TP-1 through TP-3 at depths of 4 to 6 feet.

## **CONCLUSIONS AND RECOMMENDATIONS**

In general, the site terrain and features do not indicate presently active landslides features in native terrain. However, geologic maps indicate the area is located in slide topography, and our reconnaissance revealed several features indicative of historic instability along the ravines. Based on our observations and analyses, provided the recommendations herein are followed, the site can be developed in a manner that will not reduce site or adjacent area stability. Implementing the drainage measures herein is an important design element. Site soils are moisture sensitive, and dry season grading is required. The site is above tsunami inundation elevations. Due to the potential presence of basaltic boulders and inclusions/dikes along ridges, a contingency in both the project schedule and budget should be included for rock hydraulic rock hammering/ripping.

### **Development Location/Configuration**

In general, the lots are suitable for locating single family residences, subject to lot boundary and slope crest setbacks, and the limitations for foundations and slopes discussed in this report. Topographical features comprising the northwesternmost lot and a portion of the adjacent lots (indicated on the attached **Site Plan**) are indicative of a past landslide and the creek may be eroding the toe. This terrain is very susceptible to future movement, and houses should not be located in this area. Similar features are present on portions of two lots with much lower slopes in the southeastern portion of the site.



These will require special provisions for development, including accommodating drainage from the wet/marsh area and not adding fill that would raise lot grades.

### **Earthwork**

**General** - We recommend limiting fills adjacent to slopes of 2H:1V and steeper to less than 4 feet. Fill should not be installed in areas indicated on the **Site Plan**. Fills on slopes steeper than 5H:1V will require benching into native soils. Filling of ponds/marsh areas will require draining the area, removing soft soils, and stabilizing the base.

**Preparation and Revegetation** - Vegetation and topsoil should be removed from pavement, building, and fill areas, and a 5-foot perimeter around those areas. In all but the driest late summer weather, stripping using an excavator equipped with a smooth bucket is recommended. The average combined thickness of forest duff and topsoil in our explorations was approximately 12 inches. Root balls from trees may extend several feet, and generally roots greater than one inch in diameter should be removed. Resulting excavations should be brought back to grade with structural fill.

After construction, exposed soils should be revegetated or protected by erosion resistant surfacing. Exposed soils on slopes require use of reinforced erosion control blanket (such as North American Green SC150 or equivalent). Revegetation can consist of perennial grass, salal, or other relatively continuous, rooty ground cover.

**Stabilization and Soft Areas** - After stripping, we should be contacted to evaluate the exposed subgrade for soft areas. This evaluation can be done by proof rolling in dry conditions or probing in wet conditions. Extensive soft areas could be created if the exposed subgrade is directly trafficked and/or improperly stripped. Soft areas will require overexcavation and backfill with well graded, angular crushed rock compacted as structural fill. A stabilization geosynthetic should also be used. For a stabilization geosynthetic we recommend a woven geosynthetic with an AOS of #70 to #100 sieve, and a minimum puncture resistance of 120 pounds (such as an AMOCO 2019 or equivalent).

**Working Blankets and Haul Roads** - Construction equipment should not directly traffic the site soils in any but the driest of late summer weather, as they are very susceptible to disturbance and softening. Rock working blankets and haul roads placed over a stabilization geosynthetic in a thickened advancing pad can provide this protection. For working blanket and haul road rock, we recommend sound, angular, pit run or crushed basalt with no more than 6 percent passing a #200 sieve. Working blankets should be at least 12 inches thick and haul roads at least 18 inches thick. Some repair of working blankets and haul roads should be expected.

**Erosion Protection** - Site soils are easily eroded by wind and water. Therefore, erosion control measures should be planned and in place prior to construction, with native vegetation left in place outside the grading limits. Erosion protection should be provided in accordance with Clatsop County and the City of Seaside. Erosion can be reduced with the use of silt fences, hay bales, buffer and zones of natural growth. Additionally, cut and fill slopes should be protected immediately upon completion. All stormwater should be tight-lined to suitable discharges such as approved, protected outlets and infiltration systems.

### **Drainage**

**During Construction** - Construction runoff should be routed away from slope faces and as directed by the civil engineer. After construction, all surface runoff from hard surfaces should be collected and routed to suitable tight-line discharge as directed by the civil engineer.



**Existing Creeks/Drainages** - Existing creeks/drainages, present near the southern cul-de-sac in Phase I should be tight-lined to a suitable, protected discharge. Building pads in the western portion of the "future phase" may need to be elevated above existing grades requiring a few feet of rock fill depending on conditions encountered during mass grading.

**Wet Areas** - Wet, saturated soils (such as that observed near the "No Filling" area indicated on the attached *Site Plan*) and closed depressions typically identified by the presence of hydrophilic vegetation, should be drained using a french drain through the area. The french drain should consist of a two-foot wide zone of drain rock encompassing a 4-inch diameter perforated pipe, all enclosed with a non-woven filter fabric, extending to the base of the wet soil and at least 3 feet deep. The drain rock should have no more than 2 percent passing a #200 sieve and should extend to within one foot of the ground surface. The geosynthetic should have an AOS of a #70 sieve, a minimum permittivity of 1.0 sec<sup>-1</sup>, and a minimum puncture resistance of 80 pounds (such as an AMOCO 4551 or equivalent). One foot of low permeability soil (such as the on-site silt) should be placed over the fabric at the top of the drain to isolate the drain from surface runoff. Drains should be routed to a suitable discharge.

**Slopes** - For all permanent and temporary slopes, the slope should be excavated with a smooth bucket excavator with the surface repaired if disturbed. In addition, upslope surface runoff should be rerouted so that it does not run down the face of the slopes. Equipment should not be allowed to induce vibration or infiltrate water above the slopes, and no surcharges are allowed within 20 feet of the slope crest.

Permanent and temporary cut and fill slopes up to 15 feet high can be inclined at 2H:1V in the stiff silt or silt structural fill. If steeper fill slopes are desired, we should be consulted to evaluate use of amended soils or grid reinforcement. If the bedding orientation in observed cuts is unfavorable, flattened slope inclinations, retaining systems, or rock fill buttresses may be required. The project schedule and budget should account for this. The presence of slow seepage may require drainage in the form of a layer of angular pit run rock or a suitably revegetated reinforced erosion control blanket (such as North American Green SC150 or equivalent). The presence of faster seepage may require additional erosion control measures, additional drainage elements, and/or flatter slopes, and we should be consulted. Exposed soils which are soft or loose may also require such measures.

**Fill** - The on-site soil beneath the topsoil can be used for structural fill if properly moisture conditioned. This will likely only be possible during the driest late summer months and the soils will require drying by scarification and frequent mixing in thin lifts. Once moisture contents are within 3 percent of optimum, the material should be compacted to at least 92 percent relative to ASTM D 1557 (modified proctor) using a tamping foot or sheeps-foot type compactor. Fill should be placed in lifts no greater than 10 inches in loose thickness. In addition to meeting density specifications, fill will also need to pass a proof roll using a loaded dump truck, water truck, or similar approved equipment. Fill on slopes steeper than 5H:1V will require benching into native soils.

In wet conditions, fill should be imported granular soil with less than 6 percent fines, such as clean crushed or pit run rock. Imported granular material should be compacted to 95 percent relative to ASTM D 1557.

**Trenches** - Caving should be expected in the silt unit if seepage is encountered. Shoring of utility trenches will be required for depths greater than 4 feet. Groundwater seepage in shallow trenches, if encountered, can likely be accommodated with sump pumps. Pipe bedding should be prepared in accordance with the pipe manufacturer's recommendations. Trench backfill above the pipe zone should consist of well graded, angular crushed rock with no more than 7 percent passing a #200 sieve. Trench



backfill should be compacted to 92 percent relative to ASTM D1557, with paving not occurring within one week of backfilling.

### **Residential Foundations**

The undisturbed stiff native silt or structural fill prepared as recommended is suitable for residential foundation support. Foundations should set back a minimum of 20 feet from the crest of slopes 2H:1V (approximate top of bank indicated on **Site Plan**) and steeper and be embedded at least 2 feet below the lowest adjacent exterior grade. The perimeter ground surface should be sloped to drain away from the foundations. Cut or fill slopes on lots need to comply with the **Slopes** section of this report. Perimeter foundation drains are required and should be constructed in accordance with the **Ground Moisture** section of this report.

### **Ground Moisture**

**General** - The perimeter ground surface and hard-scaping should be sloped to drain away from all structures. Gutters should be tight-lined to a suitable discharge and maintained as free-flowing. All crawl spaces should be adequately ventilated and graded/piped to drain to a suitable exterior discharge.

**Perimeter Foundation Drains** - Perimeter foundation drains required around all exterior foundations. The foundation drains should consist of a two-foot wide zone of drain rock encompassing a 4-inch diameter perforated pipe, all enclosed with a non-woven filter fabric. The drain rock should have no more than 2 percent passing a #200 sieve and should extend to within one foot of the ground surface. The geosynthetic should have an AOS of a #70 sieve, a minimum permittivity of 1.0 sec<sup>-1</sup>, and a minimum puncture resistance of 80 pounds (such as an AMOCO 4551 or equivalent). One foot of low permeability soil (such as the on-site silt) should be placed over the fabric at the top of the drain to isolate the drain from surface runoff. Foundation drains should be routed to a suitable discharge.

**Vapor Flow Retardant** - A continuous, impervious barrier must be installed over the ground surface in the crawl space of all residential structures constructed at the site. Barriers should be installed per the manufacturer's recommendations.

### **Pavement**

We have developed pavement thickness at the site using 10 trips per day per lot with 2 percent trucks for 20 years. Our analyses is based on AASHTO methods and subgrade of structural fill or undisturbed medium stiff or better native silt having a resilient modulus of 4,500 psi. Based on this, a section of 4 inches of asphalt concrete (AC) over 6 inches of crushed rock (CR) would be suitable (These thicknesses may be subject to agency minimums). In wet conditions, the thickness of the crushed rock will likely need to be increased and underlain by a suitable geosynthetic. The geosynthetic should have an AOS of a #70 sieve, a minimum permittivity of 1.0 sec<sup>-1</sup>, and a minimum puncture resistance of 120 pounds (such as an AMOCO 4553 or equivalent).

### **LIMITATIONS AND OBSERVATION DURING CONSTRUCTION**

We have prepared this report for use by Mike Maltman and members of the design and construction teams for this project only. The information herein could be used for bidding or estimating purposes but should not be construed as a warranty of subsurface conditions. We have made observations only at the aforementioned locations and only at the stated depths. These observations do not reflect soil types, strata thicknesses, water levels or seepage that may exist between observations. We should be consulted to observe repair of the upper fill slide area, all foundation bearing surfaces, proof rolling of pavement subgrades, installation of structural fill, and any cut slopes. We should be consulted to review final design and specifications in order to see that our recommendations are suitably followed. If any changes are made to the anticipated locations, loads, configurations, or construction timing, our

recommendations may not be applicable, and we should be consulted. The preceding recommendations should be considered preliminary, as actual soil conditions may vary. In order for our recommendations to be final, we must be retained to observe actual subsurface conditions encountered. Our observations will allow us to interpret actual conditions and adapt our recommendations if needed.

Within the limitations of scope, schedule and budget, our services have been executed in accordance with the generally accepted practices in this area at the time this report was prepared. No warranty, expressed or implied, is given.



We appreciate the opportunity to work with you on this project and look forward to our continued involvement. Please call if you have any questions.

Sincerely,

Ryan White, MS, PE  
Senior Project Engineer



RENEWAL DATE: 6/2004

Don Rondema, MS, PE  
Principal

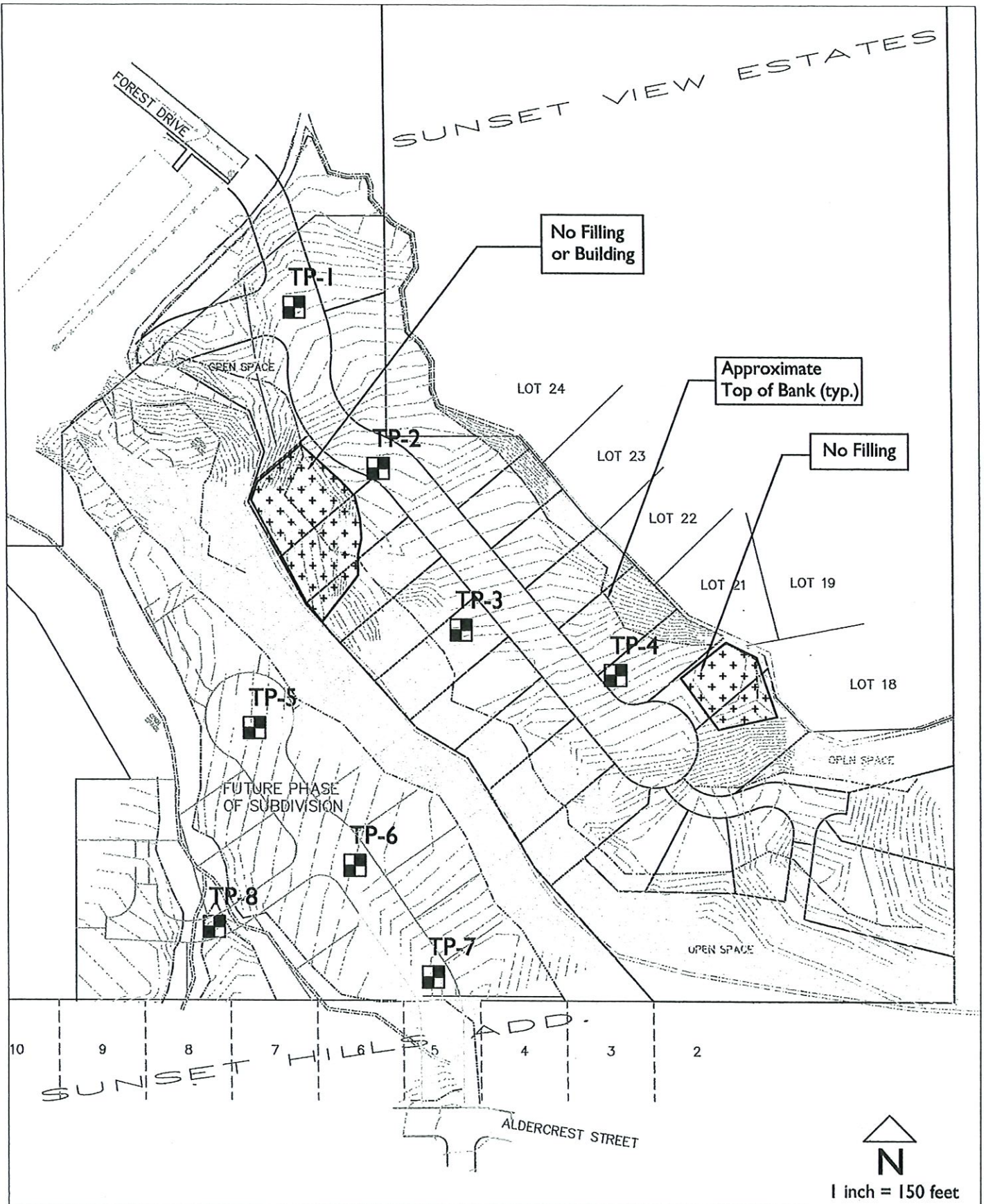


Expires 12/31/04

Attachments - Site Plan, Test Pit Logs, Moisture Contents

cc: Dean Keranen, CKI, Inc., dean@ckiinc.net





BASE DRAWING PROVIDED BY CKI, INC.

**Geotech  
Solutions Inc.**

**SITE PLAN**

Maltman-04-01-gi





**Test Pit #    Depth (ft)    Soil Description**

**TP-4**

**Location:** Phase I - northern lot, 720 feet southeast of Forest Drive

**Surface conditions:** Dense undergrowth, leaf duff.

- 0.0 - 1.0    Soft, dark brown SILT with trace organics; moist.  
1.0 - 8.0    Stiff, gray SILT with some clay and occasional moderately weathered, gravel-sized siltstone and basalt fragments; moist.  
8.0 - 11.0    Medium stiff to stiff, gray sandy SILT with occasional gravel-sized, moderately weathered siltstone fragments; moist.

No groundwater seepage observed.

No caving observed.

**TP-5**

**Location:** Phase 2 – North of Aldercrest Street

**Surface conditions:** Dense undergrowth, leaf duff.

- 0.0 – 2.5    Very stiff, brown, SILT with trace organics (6- to 8-inch thick root zone); moist.  
2.5 – 3.5    Very stiff, orange-brown, SILT; moist.  
3.5 – 10.0    Very stiff, light brown-gray, SILT with some clay; moist.  
- becomes hard, dark gray with siltstone/mudstone fragments at 9.0 feet.

No groundwater seepage observed.

No caving observed.

**TP-6**

**Location:** Phase 2 – North of Aldercrest Street

**Surface conditions:** Dense undergrowth, leaf duff.

- 0.0 – 5.5    Very stiff, orange-brown, SILT with trace clay and organics (8-inch thick root zone); moist.  
5.5 – 8.0    Very stiff, orange-light gray, SILT with some clay; moist.  
8.0 – 10.0    Medium stiff to stiff, orange-mottled gray, SILT with some clay; moist.

No groundwater seepage observed.

No caving observed.

**TP-7**

**Location:** Phase 2 – North of Aldercrest Street

**Surface conditions:** Dense undergrowth, leaf duff.

- 0.0 – 2.5    Stiff, brown, SILT with trace organics (6- to 8-inch thick root zone); moist.  
2.5 – 6.5    Very stiff, gray-orange, clayey SILT with occasional organics; moist.  
6.5 – 9.5    Very stiff, gray, SILT with trace to some clay; moist.

No groundwater seepage observed.

No caving observed.

**Test Pit #    Depth (ft)    Soil Description**

**TP-8**

**Location:** Phase 2 – North of Aldercrest Street

**Surface conditions:** Dense undergrowth, leaf duff.

- |            |  |
|------------|--|
| 0.0 – 7.5  | Medium stiff to stiff, orange-brown, SILT with trace to some clay and trace organics (6- to 8-inch thick root zone); moist.<br>- grades to without organics at 1.5 feet. |
| 7.5 – 10.0 | Medium stiff, orange-mottled gray, SILT with trace clay; moist.<br>- becomes stiff at 9.0 feet.  |

No groundwater seepage observed.

No caving observed.



Test Pit	Depth, ft	Moisture Content
TP-1	2.0	54%
TP-1	4.0	52%
TP-1	8.0	31%
TP-2	2.0	58%
TP-2	4.0	46%
TP-2	9.0	34%
TP-3	2.5	42%
TP-3	5.0	46%
TP-3	11.0	31%
TP-4	2.0	60%
TP-4	4.0	38%
TP-4	8.0	34%
TP-5	2.0	72%
TP-5	4.0	70%
TP-5	10.0	51%
TP-6	2.5	52%
TP-6	5.0	39%
TP-6	10.0	49%
TP-7	1.0	56%
TP-7	3.5	53%
TP-7	9.0	48%
TP-8	2.0	53%
TP-8	5.0	42%
TP-8	10.0	44%



# Oregon Department of Forestry

## Forest Activity Inspection Report

A **Forest Practices Inspection** was conducted on **2021-521-08999**

**Operation Name:** Arntson  
**Inspection Date:** 7/22/2021  
**Operation Status:** Pre-operation

### ODF Contact Details:

**Inspected by:** Ashley Lertora  
Ashley.M.Lertora@oregon.gov

**ODF Office: Astoria**  
92219 Hwy 202  
Astoria, Oregon 97103  
(503) 325-5451

### NOAP Contact Details:

**Notifier:** Dean Larson | Custom Excavating by Dean Larson Inc

**Landowner(s):** Neil Arntson | Sunset Ridge LLC

**Timber Owner:** Dean Larson | Custom Excavating by Dean Larson Inc

<b>Unit:</b>	<b>Activity:</b>	<b>Operator:</b>
Sunset Hills	Biomass Removal	Dean Larson   Custom Excavating by Dean Larson Inc



Operations observed were **in compliance** at the time of this inspection.



**Inspection Notes:**

Pre-op with Alex Raichl was conducted on 7-22-21. This property can be harvested under the Forest Practices Act provided that the landowner gets the prior approvals from the Seaside Planning Dept. and all applicable state agencies such as DEQ. Landowner needs to submit the Exempt to Reforest form with the required signatures to ODF before starting any harvest activities.

The FPA will apply until the logging is completed then the development of the property will be under the city's prevue.

The landowner/operator intends to leave a 50 ft no-touch buffer along the small Type F stream, so no written plan is required for protection of small Type F stream. The other stream was determined to be a small Type N: trees can be removed and a ten foot vegetative buffer will be left. Compliance of the FPA will be evaluated on the basis of how well required resource protection is achieved.

AFTER RECORDING RETURN TO:  
SUNSET RIDGE, LLC

**COVENANTS, CONDITIONS AND DEED RESTRICTIONS FOR  
SUNSET RIDGE, LLC**

The undersigned Declarant, fee owner of the real property in Seaside, Clatsop County, Oregon, known as Sunset Ridge, L.L.C., hereby declares that all the Lots in Sunset Ridge shall be held, sold and conveyed subject to the following covenants, conditions, restrictions and reservations. Such easements, covenants, conditions, restrictions and reservations (hereinafter sometimes referred to as "deed restrictions") shall run with such property and shall be binding on all parties having or acquiring any right, title or interest in such property or any part thereof and shall inure to the benefit of each owner thereof. This declaration of restrictions is designed for the purpose of maintaining the attractiveness of the neighborhood with suitable architectural design and use as specified herein.

**ARTICLE I--- GENERAL RESTRICTIONS ON USE OF  
PROPERTY**

**SECTION 1.1 Reduction/Division of Lots.** Lots may not be reduced in size nor further divided, nor partitioned. Any dwelling constructed on a lot must be for single family residential use.

**SECTION 1.2 No Commercial Uses.** All commercial and retail activity of every type and description whatsoever, excepting a home office, is prohibited in any structures erected on any building site or on any building site on which a structure has been erected.

**SECTION 1.3 No Short Term Rentals.** No rental of any structure located on Vista Ridge shall be permitted which is less than 30 days in duration.

**SECTION 1.4 Restrictions on Animals.** No animals, livestock or fowl shall be raised, kept or permitted upon the Lots or any part thereof excepting for domestic dogs and cats or other household pets, kept within the dwelling house, provided said dogs, cats or household pets are not permitted to run at large and are not kept, bred or raised for commercial purposes nor in unreasonable numbers or conditions.

**SECTION 1.5 No Mining Hydrocarbons.** No parts of Lots shall be used for the purposes of exploring for, taking from, or producing from gas, oil or other hydro-carbon substances.

**SECTION 1.6 No Offensive Activities.** Nauseous or offensive activities shall be carried out upon the Lots or any part thereof, nor shall anything be done or maintained thereon which may be or become an annoyance or nuisance to the neighborhood or detract from its value as an attractive residential district.

**SECTION 1.7 Parking and Maintenance.** It shall be the duty of the owner or occupant of any lot to improve and maintain in proper condition the area between the right of way line and improved area of Hemlock including installing and maintaining surfaced parking bays within said areas, and no trucks, campers, trailers, or boats shall be parked or permitted to remain in said area for more than a 48-hour period on an infrequent basis. All driveways must be paved with asphalt or concrete.

DEED RESTRICTIONS-1



AFTER RECORDING RETURN TO:  
SUNSET RIDGE, LLC

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DEED RESTRICTIONS-1



SECTION 1.8 Trash and incinerators: No lots shall be used or maintained as a dumping ground for rubbish, garbage, yard debris, grass clippings or trash. Garbage and other wastes shall be kept in appropriate sanitary containers. Yard raking and dirt resulting from landscaping work shall not be disposed of onto the street, open spaces or on any undeveloped sites or public areas.

SECTION 1.9 Parking and Vehicle Enclosure: Parking of boats, trailers, recreational vehicles, motor homes, campers, campers and trucks, except pick-up trucks, light recreational equipment, and more than two vehicles or the repair of any of the same, or the stacking of firewood, shall not be allowed in excess of 24 hours on any part of the Lots, and on public streets adjacent thereto, excepting only within approved confines of an enclosed garage, storage port or behind an approved screening fence or shrubbery and shall be attached to a dwelling or if detached shall be of compatible design, construction, materials and decoration with the dwelling and shall not be placed closer to the front (street side) of the lot than 20 feet to the street right of way line.

SECTION 1.10 Temporary Structures. No structure of a temporary character, trailer, tent, shack, shed, storage unit, garage, barn or other outbuilding shall be used on any lot at any time as a residence, whether temporarily or permanently. In addition, no antenna devices for the reception or transmission of communications shall be permitted outside of structures located upon the property unless they are equal to or less than 18" in diameter.

SECTION 1.11 Erosion Control and Vegetation Removal. The owner of each lot is responsible to prevent wind or water caused erosion and shall make no use of the property or allow the property to be in such condition as to cause or precipitate erosion on his lot, or on another lot within the plat. A lot owner may not remove vegetation on the lot, including the trees without immediate replacement in such a manner as to protect the lot and surrounding area from erosion. Any and all erosion control per DEQ and city requirements are to be met.

SECTION 1.12 Mechanical Vehicles, Recreational Vehicles and Machinery noise. No mechanical vehicles, including trail bikes, motorcycles, motor scooters, go-carts, four-wheel drive vehicles and ATV's or any other similar type of vehicle may be operated upon any lot, except for parking on the driveway or other paved parking areas as permitted herein. Operation of all such recreational type of noise emitting mechanical machinery is prohibited. Machinery necessary for the care and maintenance of cutting machinery is specifically permitted. Fireworks are not allowed at anytime at Sunset Ridge.

## ARTICLE II---RESTRICTION ON TYPE OF STRUCTURE PERMITTED

SECTION 2.1 Restrictions on Structures. In addition to the requirements proposed by any municipal corporation having jurisdiction over the property, the following restrictions apply to structures, improvements and personal property on Sunset Ridge lots.



SECTION 2.2 Minimum House: Size: Wood Frame Construction. No house shall have less than 1500 square feet and a minimum of two car enclosed garage. All trailers, mobile homes, pre-fabricated housing or modular unit housing shall be prohibited. All exterior construction shall consist of a double wall system. Residential-type sprinkler systems will be required for all houses per the City of Seaside.

SECTION 2.3 Height Restrictions on structures. So that ocean views can be enjoyed by all, building height limitations may be imposed by the ARC in order to preserve views. Ridge heights shall not exceed 35' in height from grade, but also may be restricted to a height of less than 30 feet as determined solely by Architectural Review.

SECTION 2.4 Architectural Review Committee (ARC). Prior to permitting or construction of any kind, lot owners are to submit a signed and dated copy of a proposed home plan with all elevations and any outbuilding to Declarant, for exterior and elevation architectural review. Declarant will approve or deny the compatibility of the subject plans within 30 days of submittal. Architectural review will be for a period of two years from the sale of the lots from Declarant to original purchasers and any subsequent resale in that time frame. After two years any new construction of a building, or any improvement changing the exterior appearance of a building and requiring a building permit, will require the approval of a majority of the lot owners of Sunset Ridge or an established Architectural Review/Control Committee. Any review action or inaction taken by the Declarant shall be solely discretionary and all parties, lot owners, members and/or potential members shall hold and save Declarant harmless provided any such actions or inactions are in good faith.

SECTION 2.5 Course of Construction. No buildings shall be in any manner occupied while in the course of original construction. Tot construction of the building or structure shall be prosecuted with reasonable diligence continuously from the time of commencement until fully completed. "Fully completed" shall be defined as completion of the exterior of the structure, driveway, and landscaping. In no case shall such time exceed twelve (12) months.

SECTION 2.6 Exterior Finish. The exterior of all construction on any lot shall be designed, built and maintained in such a manner as to blend in with the natural surroundings, existing structures and landscaping in Sunset Ridge. The exterior walls shall be double-walled and of cedar or of a color and style approved in advance by Architectural Review. All siding shall be refinished regularly to preserve and maintain the appearance of exterior structures. Exterior colors must be approved in writing by Architectural Review.

Exterior trim, fences, doors, railings, decks, eaves, gutters, and the exterior finish of garages and other accessory buildings shall be designed, built and maintained to be compatible with the exterior of the structure they adjoin. T111 type siding, vinyl, metal, panel siding or other similar exterior finished surfaces are not permitted.

SECTION 2.7 Roofing. All roofs shall be covered with architectural asphalt or synthetic composite (concrete, fiberglass) blends of tile or shake style roofing materials. No metal, vinyl, plastic, tar standard asphalt, or flat asphalt shingle roofing material is allowed. All approved roofing material shall be a natural earth tone, singular in color, without variation of type or color of materials per single family structure. Roof pitch shall be 5 to 12 or steeper.

SECTION 2.8 Sidewalks. Property owners shall be responsible for the installation and maintenance of a sidewalk for public use, as per City requirements.



SECTION 2.9 Driveways and Parking Bays. All driveways and parking bays shall be constructed of asphalt paving or concrete.

SECTION 2.10 Outbuildings. All outbuildings shall be of construction material, exterior finish, color and architectural type similar to the residence thereon and limited to one building. No metal or vinyl outbuildings are permitted.

### ARTICLE III LANDSCAPING RESTRICTIONS & CONDITIONS

The following restrictions are applicable to the construction and maintenance of improvements on Lots:

SECTION 3.1 Building Envelopes: Building envelopes for each lot within which the home and garage must be located are depicted on Exhibit A attached. Patios, decks, driveways, small accessory structures, and Certain landscape features may be outside of the building envelope with ARC permission. No buildings are permitted within 15 feet of the high water line of streams that cross the property. To avoid impact to the slopes, the applicant shall set the habitable portion of the residence back a minimum of 20 feet from the front property line. Lots 1-5 shall have the house set back a minimum of 5' from the top of the rear steep slope bank. Lots 10-15 shall maintain a setback of 15' from the drainage swales (creek areas).

SECTION 3.2 Landscaping. All landscaping on a Lot must be completed within one hundred twenty (120) days from the date of substantial completion of the Residence constructed thereon. "Substantial completion" shall be defined as completion of exterior construction of the dwelling. In the event of undue hardship due to weather conditions, this provision may be extended for a reasonable length of time, to the extent permitted by applicable law, upon written approval of Architectural Review.

SECTION 3.3 Maintenance. The lot shall be maintained in order to prevent the creation of a nuisance or health hazard. The grass shall be cut and mowed at sufficient intervals to comply with the standard of maintenance prevailing in the neighborhood unless otherwise approved in writing by an Architectural Control Committee.

SECTION 3.4 View Preservation. All lots at all times shall maintain landscaping and plant material so as not to substantially block the view of other Lot Owners. It is agreed that the Architectural Control Committee, upon 10 (ten) days written notice to the Lot Owner, shall have the right to require a Lot Owner to remove any landscaping or plant material not conforming to the above. The owner of the offending tree, shrub or other vegetation shall be entitled to elect, within 10 days of the Architectural Control Committee's determination as to whether the offending tree, shrub or other vegetation shall be trimmed, topped, or removed so long as such choice shall restore the obscured view. In any event, the entire cost shall be paid by owner of the offending obstruction.

SECTION 3.5 Fences and Hedges. Hedges shall be kept at no more than five (5) feet in height. Fences shall be constructed of natural wood materials and shall be kept at no more than six (6) feet in height, and no more than three (3) feet along the street property frontage. No fencing shall interfere with natural drainage flows or be placed in any natural or wetlands zone. A 6' natural material fence is required by the City of Seaside along the rear property lines of lots 1, 12-17 adjacent to the existing sunset hills lots to be maintained by the homeowners. This fence shall not block the natural drainage ways.

### DEED RESTRICTIONS-4

SECTION 3.6 Wetland Protection. Lots shall have a building setback from the wetlands zone. No resident shall be allowed to fill or landscape the wetland area. The natural wetlands



habitat and drainage swales shall be preserved.

#### ARTICLE V---ROADWAY AND MAINTENANCE

SECTION 4.1 Public Roads. Declarant acknowledges that Hemlock is a publicly owned and publicly maintained roadway which has been dedicated to the public by the Declarant and accepted by the City of Seaside, Oregon, on behalf of the public.

SECTION 4.2 Private Road. Declarant acknowledges that commone access drive for lots 12 and 13 is a private road to be maintained by the adjoining lot owners.

#### ARTICLE V---ROADWAY, SEWER AND UTILITY EASEMENTS

SECTION 5.1 Easements The utility easement shall be for the respective and mutual use of all parties for utility service of every type and nature and for sewer service. Each lot shall have the right to connect to and use said utilities located therein. Each lot owners shall have all rights of ingress and egress to and from said utility areas including the right from time to time, to cut, trim and remove trees, brush, overhanging branches and other obstructions necessary for the use, enjoyment, operation and maintenance of the easement

SECTION 5.2 Easements: Minimum Disruption. Any and all utilization of said easement shall be accomplished in such a manner as to cause the least inconvenience and disruption of the use to the servient estate. The dominant estate shall return the condition of the property of the servient estate to its prior condition upon completion of any and all installations, connections and maintenance work within said easements permitted hereby in a timely and expeditious manner.

SECTION 5.3 Easements; Shared Maintenance Costs: The owners of all lots shall be responsible in common for all costs of maintenance of said easements and common utilization thereof.

## ARTICLE VII---GENERAL PROVISIONS

### SECTION 7.1 Duration.

25 Years. 10 years upon renewal Covenants, conditions, restrictions and reservations contained in this Declaration shall run with and bind the land and inure to the benefit of and be enforceable by the owner of any lot subject to this Declaration, their respective legal representatives, heirs, successors and assigns for a term of 25 years from the date this Declaration is recorded except for those provisions set forth herein below which shall be perpetual.

After such term, such covenants, restrictions, conditions and reservations shall automatically extend for successive periods of ten (10) years. The covenants, conditions and restrictions of this Declaration may be amended during the first 20-year period by an Instrument signed by owners of not less than 50 % of the lots in the Plat and thereafter by an instrument signed by owners of not less than 50% of the lots. Any amendment must be properly recorded. Provided, however, no amendment may be made without written consent by Declarant so long as Declarant owns a lot within Sunset Ridge. And provided further no amendment may be made which affects Declarant's reserved rights relative to use of the open space Tract 'A' for signage without the consent of Declarant.

### SECTION 7.2 Enforcement

It is expressly agreed and understood that the several restrictive covenants contained herein shall attach to and run with the land. It shall be unlawful not only for the Declarant, his heirs, successors and assigns, but also for the grantees of owner or owners of any lot or lots within the subdivision deriving title from or through the Declarant, to institute and prosecute any proceedings of law or equity against the person or persons violating or threatening to violate any term or provision of these Deed Restrictions. Failure of any lot owner to enforce any covenant or restriction here contained shall in no event be deemed a waiver of the right to do so thereafter. Unless otherwise provided herein, any notice required to be sent to any lot owner under the provisions of this Declaration shall be deemed to have been properly sent when mailed, postpaid, to the last known address of the person who appears as owner of the lot in the records of Clatsop County Assessor at the time of such mailing.



**SECTION 7.3 Attorney Fees**

In case an action is instituted or filed to enforce this Declaration or enforce any of the provisions hereof: the parties agree to pay such sum as the court may judge as reasonable attorney fees, consultant fees, accountant fees, and witness fees to be allowed to the prevailing party. Attorney fees and said costs shall be allowed on appeal. It is further agreed that the prevailing party shall be entitled to all reasonable and necessary expenses and attorney fees, accountant fees, consultant fees, witness fees and other costs, if any, in the event such is necessary to enforce this agreement or any provision hereof or to obtain compliance with any provision of this agreement even though no formal suit or action is instituted or filed.

**SECTION 7.4 Severability**

It is expressly agreed that if any, covenant, condition or restriction herein contained or any portion thereof is invalid, or void, or deemed so by a court of competent jurisdiction, such invalidity or voidness shall in no way affect any other covenant, condition or restriction contained herein.

**SECTION 7.5 Reservation of Other Remedies**

In addition to the remedies set forth hereinabove, the Declarant reserves the right to enforce the covenants, conditions or restrictions contained herein by any other appropriate suit or action, at his option.

**SECTION 7.6 Indemnity**

Any party described herein who fails to perform their obligation under this restriction shall defend, indemnify and hold harmless every other owner of any lot for any claim, loss or indemnity arising out of or in any way connected with such persons' failure to perform their obligation under this declaration.

IN WITNESS WHEREOF, the undersigned being the Declarant herein, has caused this instrument to be Executed this \_\_\_\_ day of \_\_\_\_\_, 2022

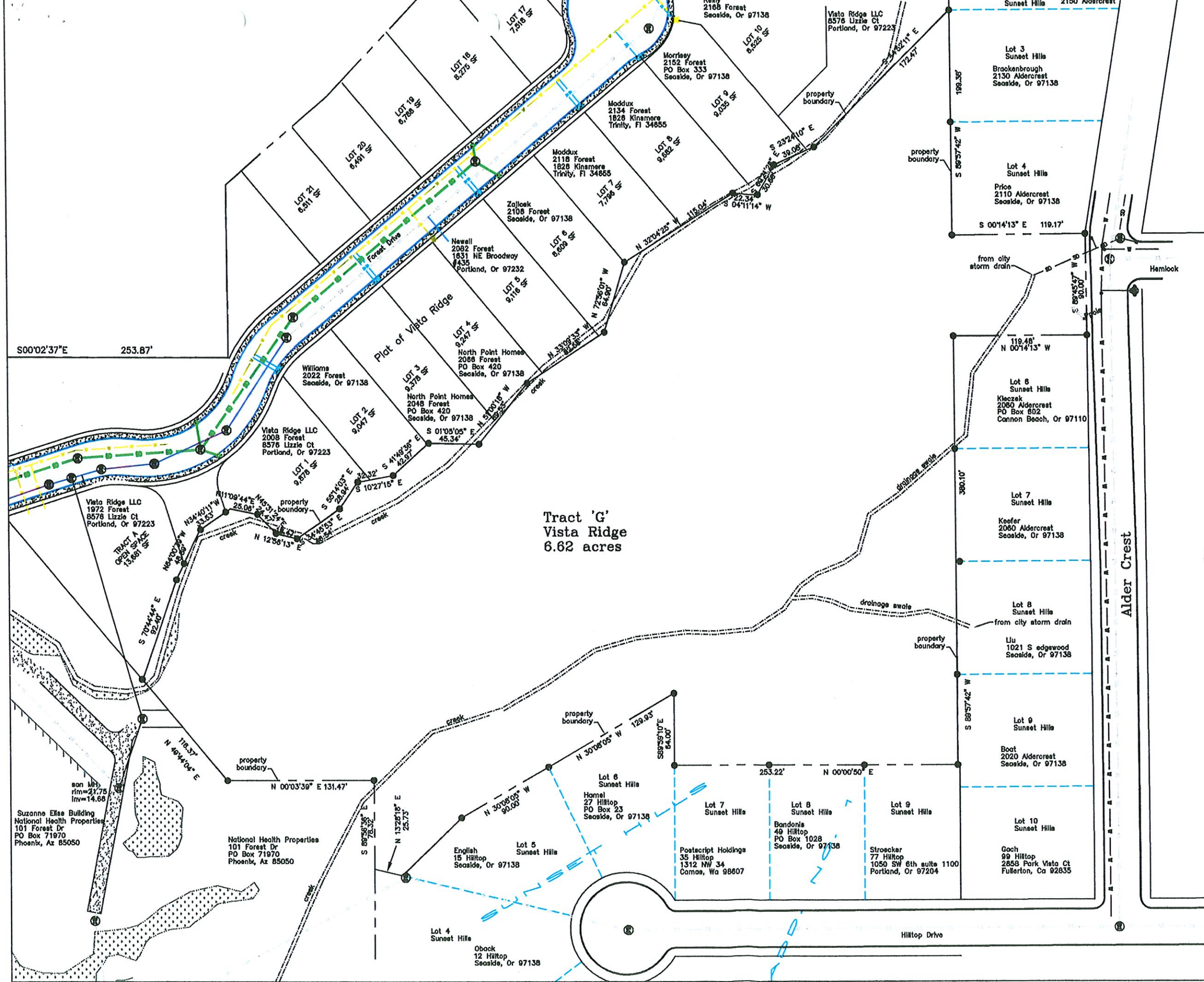
Sunset Ridge, L.L.C.

By: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBATE 'A'

DEED RESTRICTIONS-8





**Preliminary Plat**  
**Vista Ridge 2**  
 Proposed 15 lots

Zoning: R-1  
 setbacks:  
 Front - 20'  
 Rear - 15'  
 Side - 5'  
 Creek - 15'

Scale 1"=40'

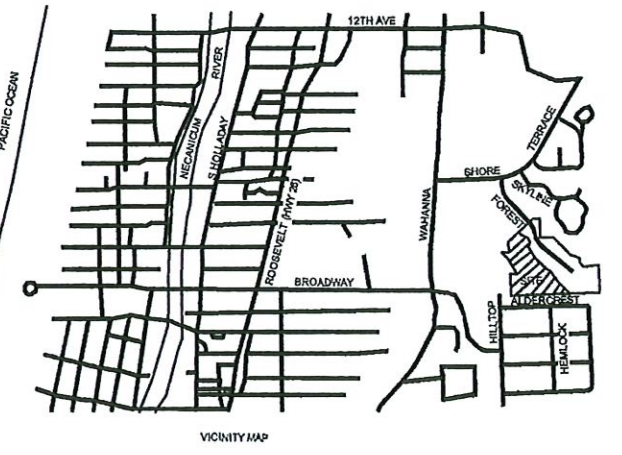
**Legend**

---	Property Line
---	Center Line R/W
---	Existing AC
---	Curb
---	Storm Sewer Existing
---	Storm Sewer New
---	Sanitary Sewer Existing
---	Sanitary Sewer New
---	Water Main Existing
---	Water Main New
---	Gas Line
---	Power Telco, Tv conduits
---	Telco fiber conduits
●	Tree
○	Water Meter
○	Water Valve
○	Fire Hydrant
○	Manhole
○	Clean-Out
○	Catch Basin
○	Power Pole
+	Existing ground Elevation

exterior boundary is from Plat of Vista Ridge as surveyed by CKI surveying

Contours are from survey by CKI surveying & Mead Engineering

Soils reports by GeoTech Solutions & Mead Engineering LLC



Sheet	Description
1	cover and exterior boundary of site
2	elevation contours of site
3	new 15 lot layout of site
4	new lot layout with elevation contours
5	lot layout with proposed utilities
6	lot layout with cuts and fills
7	lot layout with erosion control for clearing and construction
8	Street & san sewer profiles

**Exterior Boundary**  
**Proposed Development**  
**of Tract 'G' Vista Ridge**  
**Sunset Ridge LLC**  
**PO Box 86100**  
**Portland, Or 97286**  
 Project Representative: Steve Ackley  
 1570 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2830  
 Steve.Ackley55@gmail.com

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

*Mark M Mead*  
 OREGON  
 MARK M. MEAD  
 2259

Mead  
 Engineering LLC  
 89843 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40'

EXPIRES 12/31/2022  
 4 March 2022

**Tract 'G'**  
**Vista Ridge**  
**6.62 acres**

S00°02'37"E 253.87'

Suzanne Elise Building  
 National Health Properties  
 101 Forest Dr  
 PO Box 71970  
 Phoenix, Az 85050

National Health Properties  
 101 Forest Dr  
 PO Box 71970  
 Phoenix, Az 85050

Lot 4  
 Sunset Hills  
 Oback  
 12 Hilltop  
 Seaside, Or 97138

English  
 15 Hilltop  
 Seaside, Or 97138

Lot 5  
 Sunset Hills

Lot 6  
 Sunset Hills  
 Hamal  
 27 Hilltop  
 PO Box 23  
 Seaside, Or 97138

Postscript Holdings  
 35 Hilltop  
 1312 NW 34  
 Camas, Wa 98607

Lot 7  
 Sunset Hills

Lot 8  
 Sunset Hills  
 Bandonia  
 49 Hilltop  
 PO Box 1028  
 Seaside, Or 97138

Stroecker  
 77 Hilltop  
 1050 SW 8th suite 1100  
 Portland, Or 97204

Lot 9  
 Sunset Hills

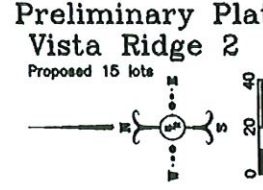
Boat  
 2020 Aldercrest  
 Seaside, Or 97138

Lot 10  
 Sunset Hills  
 Goch  
 99 Hilltop  
 2858 Park Vista Ct  
 Fullerton, Ca 92635

Alder Crest

Hilltop Drive

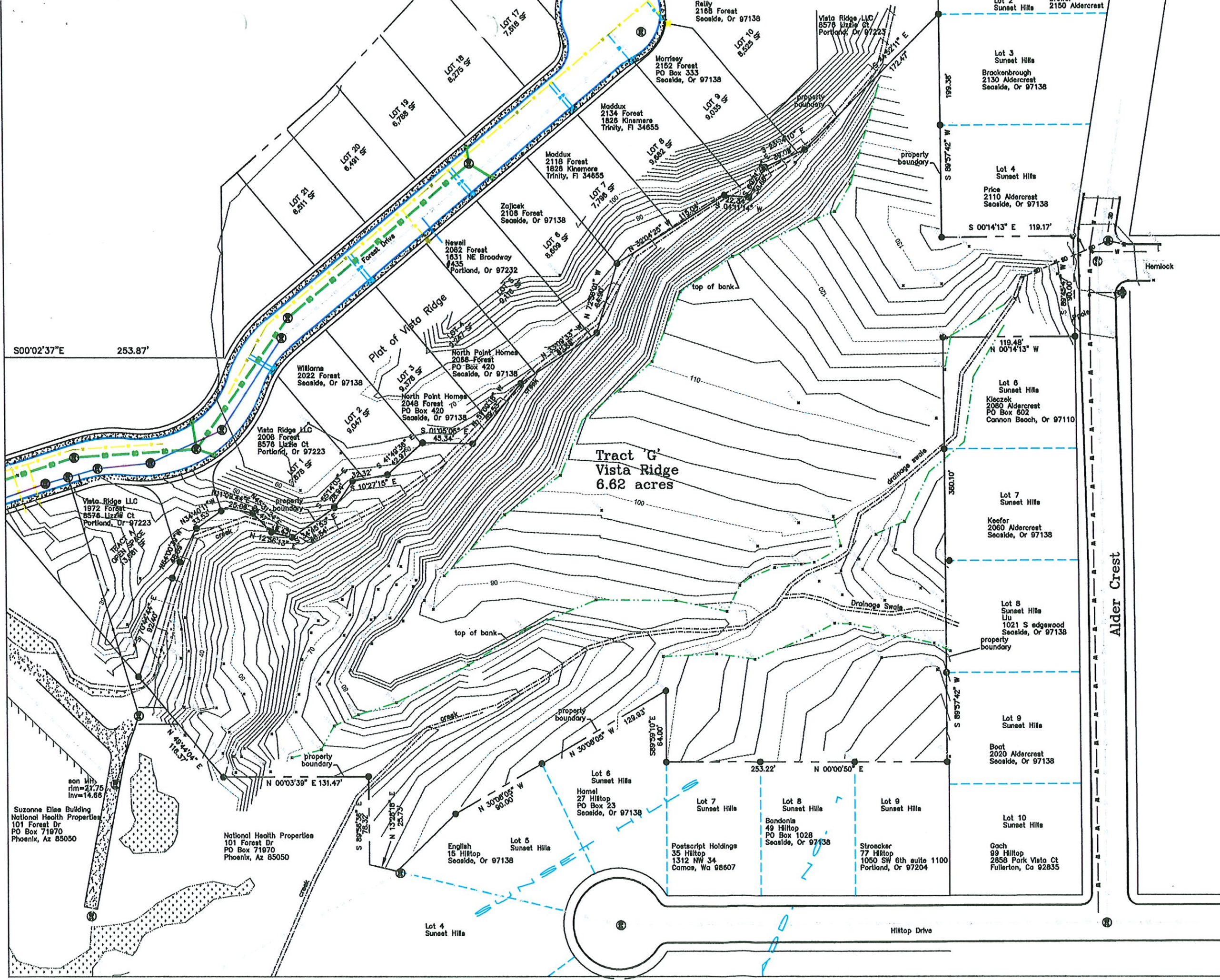




**Legend**

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---	Curb
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---	Storm Sewer New
---	Sanitary Sewer Existing
---	Sanitary Sewer New
---	Water Main Existing
---	Water Main New
---	Gas Line
---	Power Telco, TV conduits
---	Telco fiber conduits
●	Tree
○	Water Meter
○	Water Valve
○	Fire Hydrant
○	Manhole
○	Co Clean-Out
○	Catch Basin
○	Power Pole
•	Existing ground Elevation

Contours are from survey by CKI land surveying & Mead Engineering



**Elevation Contours  
 Proposed Development  
 of Tract 'G' Vista Ridge**  
 Sunset Ridge LLC  
 PO Box 86100  
 Portland, Or 97286  
 Project Representative: Steve Ackley  
 1570 SW Pine Ct  
 Warrenton, Or 97148  
 Ph. 503-440-2630  
 Steve.Ackley55@gmail.com

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR  
**Mark M Mead**  
 OREGON  
 MARK M. MEAD  
 2259

**Mead Engineering LLC**  
 89643 OCEAN DRIVE  
 WARRENTON, OREGON 97148  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40'

EXPIRES 12/31/2022  
 4 March 2022

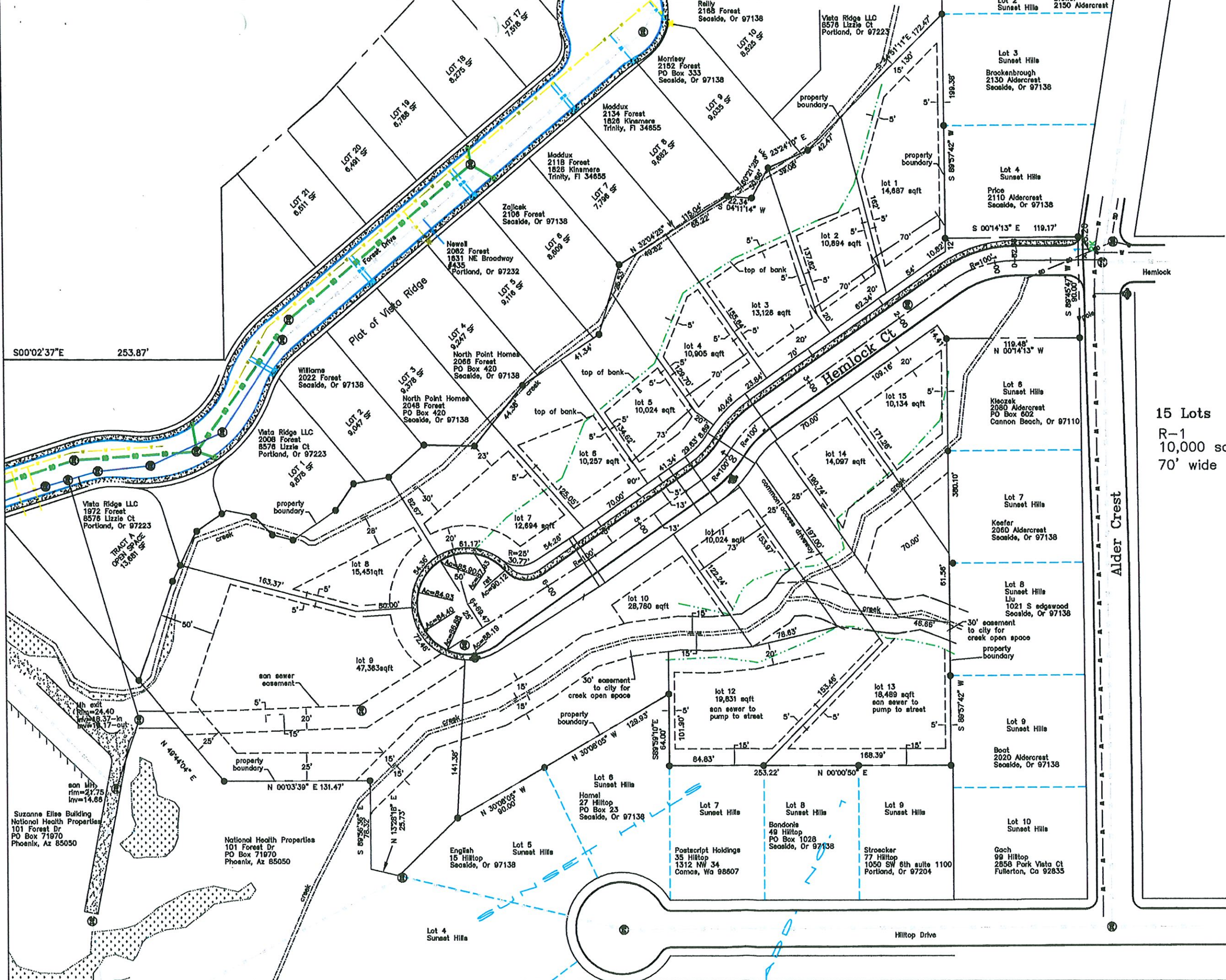


Elevation datum NVD 1988  
 Zoning: R-1  
 setbacks:  
 Front - 20'  
 Rear - 15'  
 Side - 5'  
 Creek - 15'



**Legend**

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---	Water Valve
---	Fire Hydrant
---	Manhole
---	Co Clean-Out
---	Catch Basin
---	Power Pole
---	Existing ground Elevation



15 Lots  
 R-1  
 10,000 sqft min  
 70' wide at building line

**New Lot Layout**

**Proposed Development of Tract 'G' Vista Ridge**  
 Sunset Ridge LLC  
 PO Box 86100  
 Portland, Or 97286  
 Project Representative: Steve Aakley  
 1570 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2630  
 Steve.Aakley55@gmail.com

REGISTERED PROFESSIONAL LAND SURVEYOR

**Mark M Mead**  
 OREGON  
 MARK M. MEAD  
 2259

EXPIRES 12/31/2022  
 4 March 2022

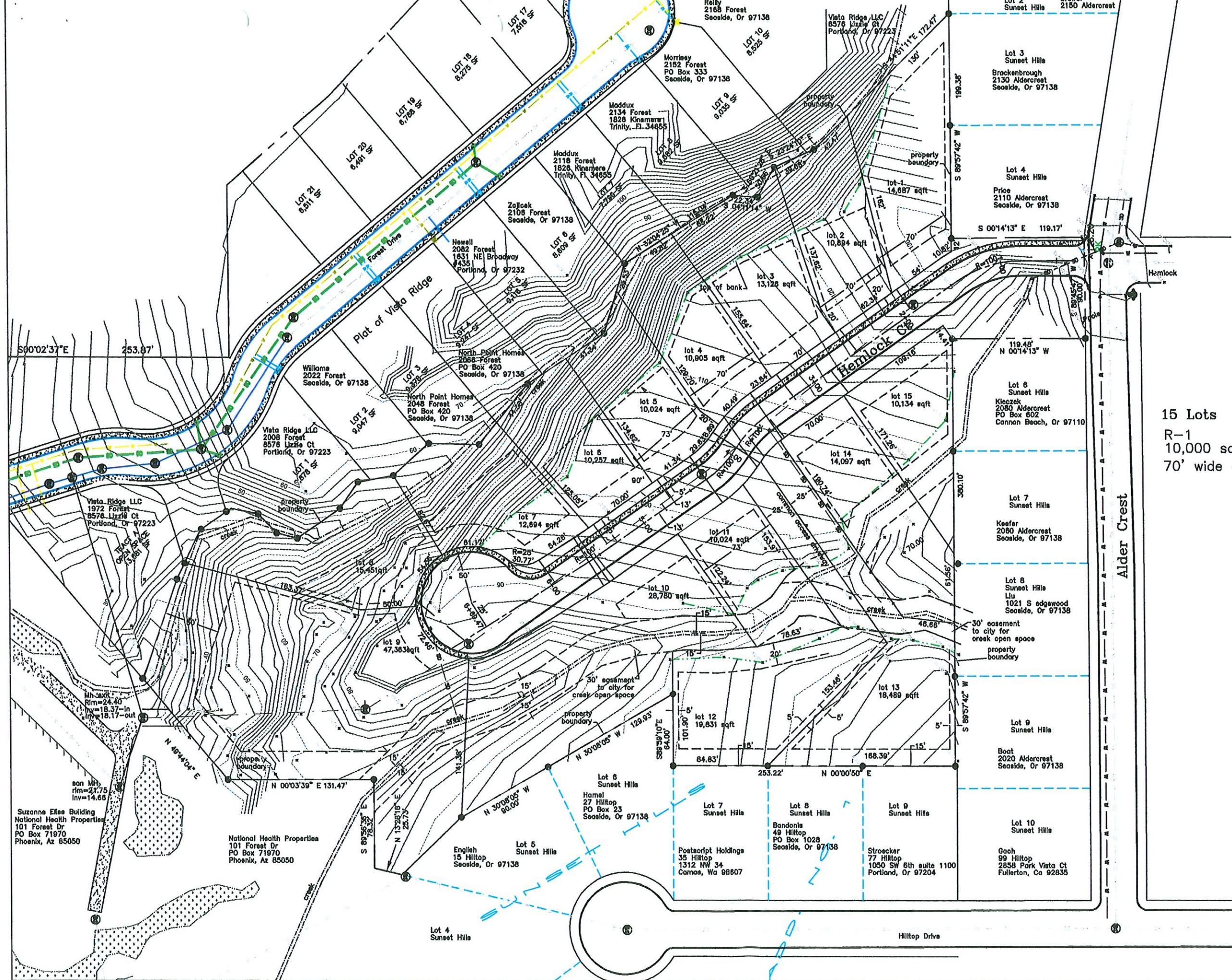
**Mead Engineering LLC**  
 89843 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40'





**Legend**

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⊙	Existing ground Elevation



15 Lots  
 R-1  
 10,000 sqft min  
 70' wide at building line

**New Lot Layout and Ground Contours**

**Proposed Development of Tract 'G' Vista Ridge**  
 Sunset Ridge LLC  
 PO Box 86100  
 Portland, Or 97286

Project Representative: Steve Ackley  
 1570 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2830  
 Steve.Ackley53@gmail.com

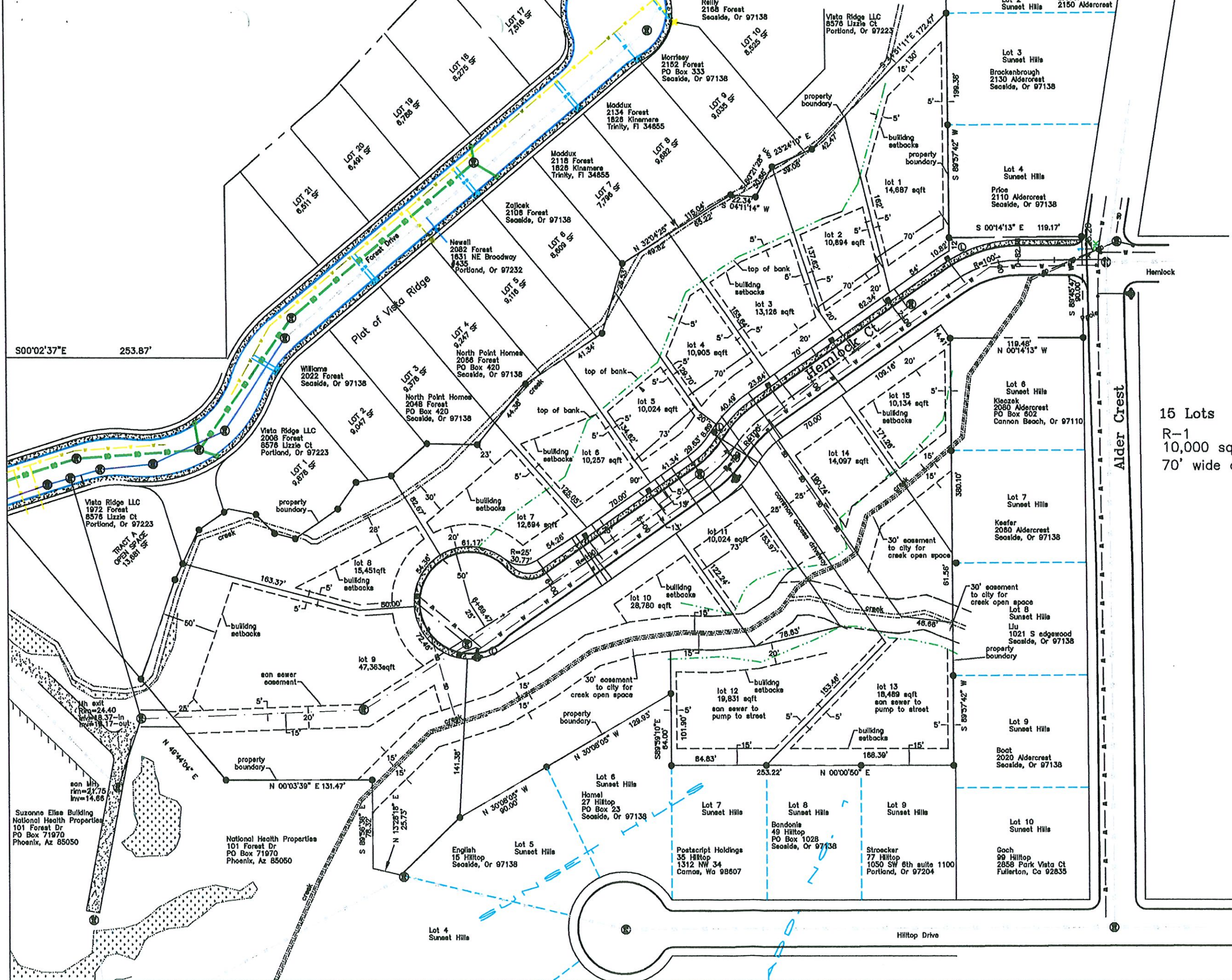
REGISTERED PROFESSIONAL LAND SURVEYOR

**Mark M Mead**  
 OREGON  
 MARK M. MEAD  
 2250

EXPIRES 12/31/2022  
 4 March 2022

**Mead Engineering LLC**  
 80843 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40'





**Preliminary Plat**  
**Vista Ridge 2**  
 Proposed 15 lots

Elevation datum NVD 1988  
 Zoning: R-1  
 setbacks  
 Front - 20'  
 Rear - 15'  
 Side - 5'  
 Creek - 15'

Scale 1"=40'

**Legend**

- Property Line
- Center Line R/W
- Existing AC
- Curb
- Storm Sewer Existing
- Storm Sewer New
- Sanitary Sewer Existing
- Sanitary Sewer New
- Water Main Existing
- Water Main New
- Gas Line
- Power Telco, Tv conduits
- Telco fiber conduits
- Tree
- Water Meter
- Water Valve
- Fire Hydrant
- Manhole
- Co Clean-Out
- Catch Basin
- Power Pole
- Existing ground Elevation
- Street Lights

15 Lots  
 R-1  
 10,000 sqft min  
 70' wide at building line

**New Lot Layout and Utilities**  
**Proposed Development of Tract 'G' Vista Ridge**  
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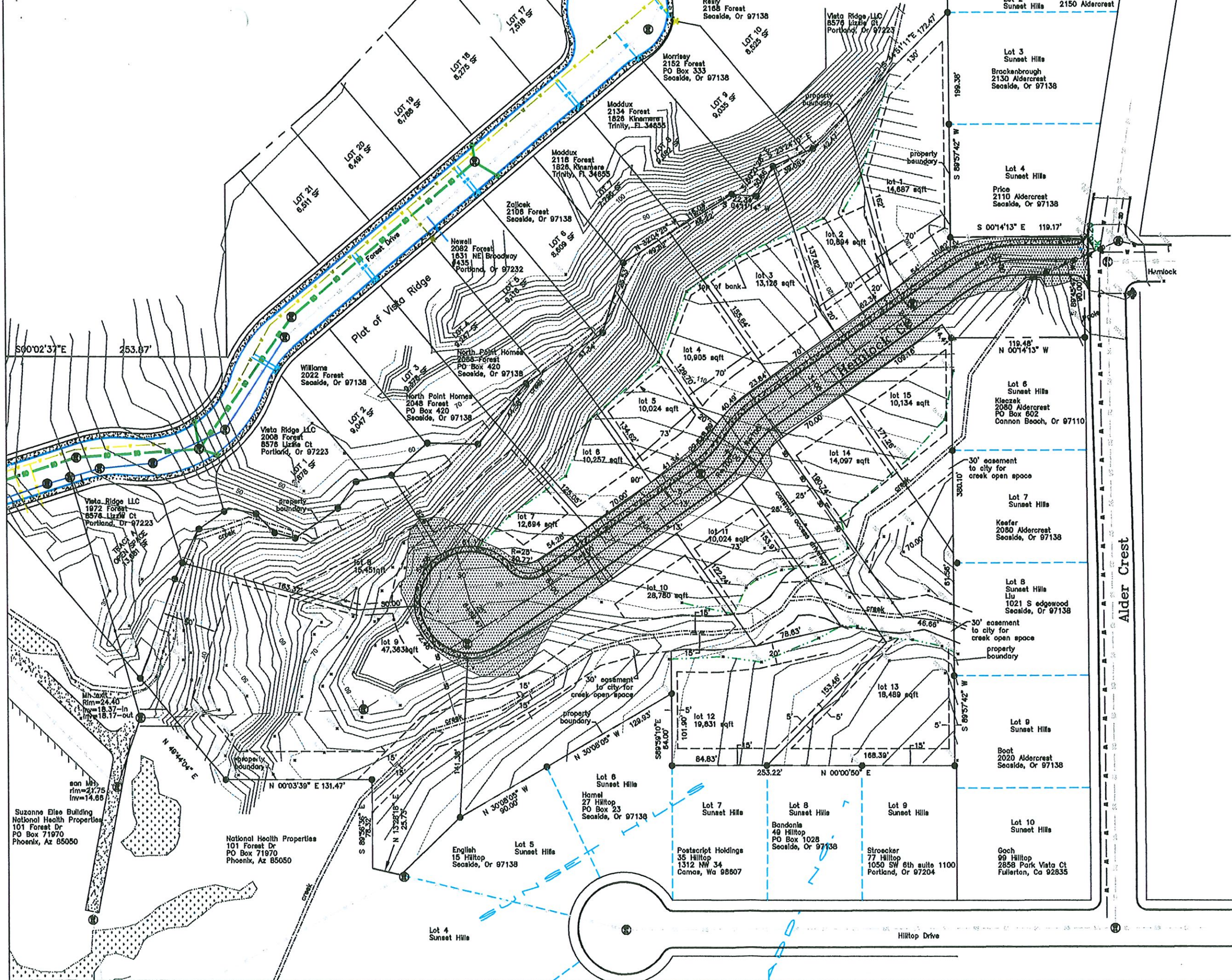
Project Representative: Steve Ackley  
 1670 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2630  
 Steve.Ackley65@gmail.com

REGISTERED PROFESSIONAL LAND SURVEYOR  
**Mark M Mead**  
 OREGON  
 2259

**Mead Engineering LLC**  
 89843 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40'

EXPIRES 12/31/2022  
 4 March 2022





**Preliminary Plat**  
**Vista Ridge 2**  
 Proposed 15 lots

Elevation datum NAVD 1988  
 Zoning: R-1  
 setbacks:  
 Front - 20'  
 Rear - 15'  
 Side - 5'  
 Creek - 15'

Scale 1"=40'

**Legend**

- Property Line
- Center Line R/W
- Existing AC
- Curb
- Storm Sewer Existing
- Storm Sewer New
- Sanitary Sewer Existing
- Sanitary Sewer New
- Water Main Existing
- Water Main New
- Gas Line
- Power Line
- Power Telco, TV conduits
- Telco fiber conduits
- Tree
- Water Meter
- Water Valve
- Fire Hydrant
- Manhole
- Co O Clean-Out
- Catch Basin
- Power Pole
- Existing ground Elevation

cut and fill areas

**New Lot Layout and Ground Contours with cuts and fills**  
**Proposed Development of Tract 'G' Vista Ridge**  
**Sunset Ridge LLC**  
 PO Box 86100  
 Portland, Or 97286  
 Project Representative: Steve Ackley  
 1570 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2630  
 Steve.Ackley5@gmail.com

REGISTERED PROFESSIONAL LAND SURVEYOR

**Mark M Mead**  
 OREGON  
 MARK M. MEAD  
 2259

EXPIRES 12/31/2022  
 4 March 2022

**Mead Engineering LLC**  
 89643 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
 Ph. 503-738-2538  
 Email: mark@meadeng.com  
 Scale 1"=40' SH 8



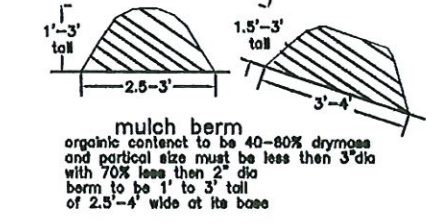
Preliminary Plat  
**Vista Ridge 2**  
 Proposed 15 lots

Elevation datum NVGD 1988  
 Zoning: R-1  
 setbacks:  
 Front - 20'  
 Rear - 15'  
 Side - 5'  
 Creek - 15'

Scale 1"=40'

**Legend**

	Property Line
	Center Line R/W
	Existing AC
	Curb
	Storm Sewer Exditing
	Storm Sewer New
	Sanitary Sewer Exditing
	Sanitary Sewer New
	Water Main Exditing
	Water Main New
	Gas Line
	Power Telco, TV conduits
	Telco fiber conduits
	Tree
	Water Meter
	Water Valve
	Fire Hydrant
	Manhole
	Co Clean-Out
	Catch Basin
	Power Pole
	Existing ground Elevation
	Silt Fence
	Erosion Mulch Berm



Area of no clearing = 5.11 acres  
 for street and utility  
 construction  
 lot areas to be cleared with each  
 individual house construction

Area to be cleared = 1.51 acres

No Building area = 1.31 acres

**New Lot Layout  
 and clearing areas  
 No Building Areas  
 Erosion Control**

**Proposed Development  
 of Tract 'G' Vista Ridge**  
**Sunset Ridge LLC**  
 PO Box 86100  
 Portland, Or 97286

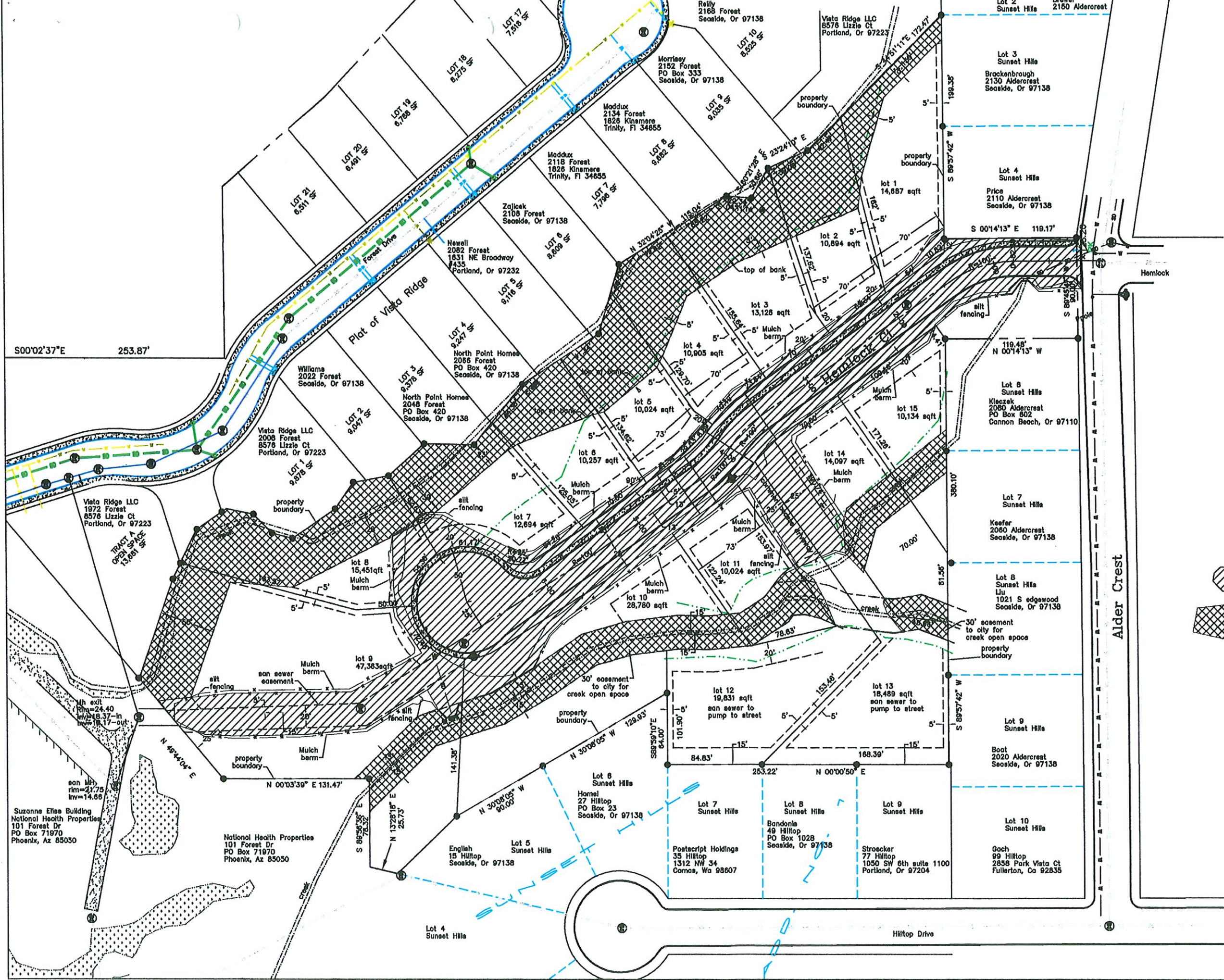
Project Representative: Steve Aokley  
 1870 SW Pine Ct  
 Warrenton, Or 97146  
 Ph. 503-440-2830  
 Steve.Aokley55@gmail.com

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

**Mark M Mead**  
 OREGON  
 MARK M. MEAD  
 2259

EXPIRES 12/31/2022  
 4 March 2022

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 89843 OCEAN DRIVE  
 WARRENTON, OREGON 97146  
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 Scale 1"=40'



S00°02'37"E 253.87'

Suzanne Elise Building  
 National Health Properties  
 101 Forest Dr  
 PO Box 71970  
 Phoenix, Az 85050

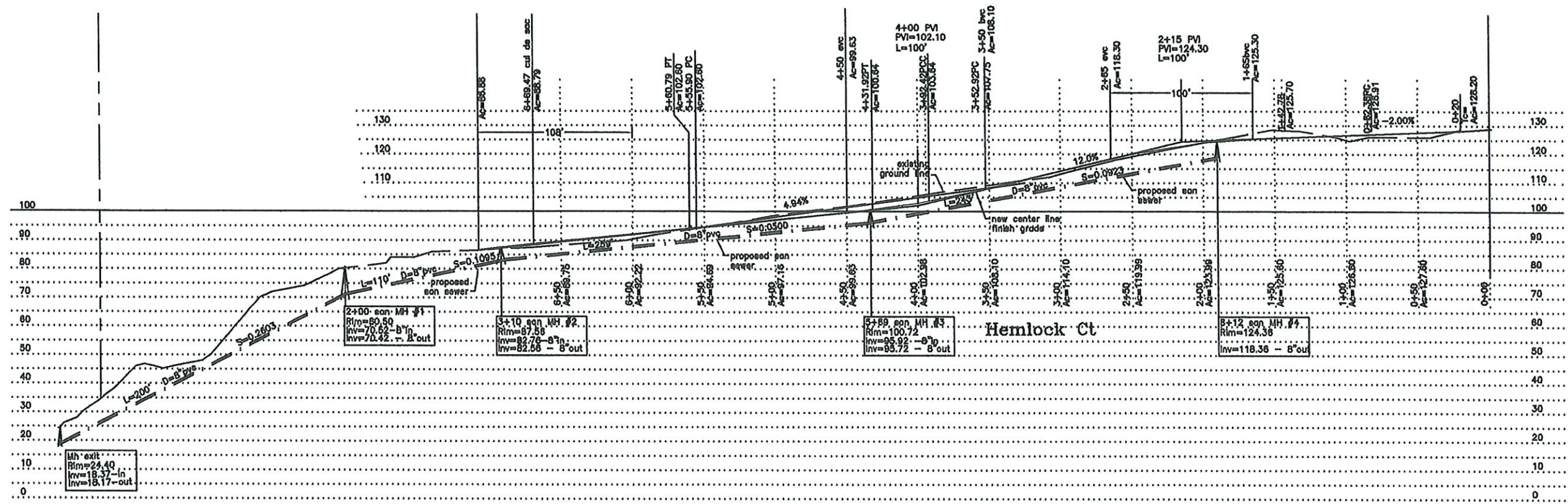
National Health Properties  
 101 Forest Dr  
 PO Box 71970  
 Phoenix, Az 85050

Lot 4  
 Sunset Hills

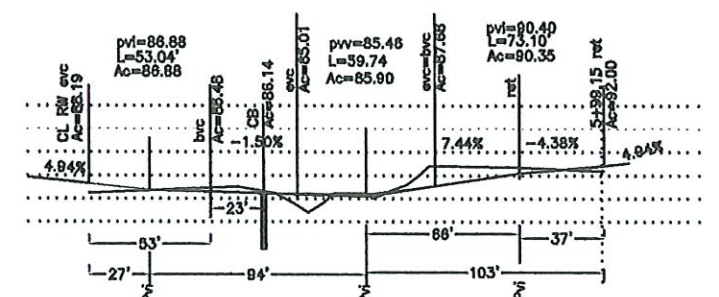
Hilltop Drive

Alder Crest





Street & Sewer Profile



Hemlock Ct Cul-de-sack  
Finish Grades

Street & Sewer  
Profiles

Proposed Development  
of Tract 'G' Vista Ridge  
Sunset Ridge LLC  
PO Box 86100  
Portland, Or 97286

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REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

Mark M Mead  
OREGON  
REGISTERED LAND SURVEYOR  
MARK M. MEAD  
2259

EXPIRES 12/31/2022

Mead  
Engineering LLC  
89843 OCEAN DRIVE  
WARRENTON, OREGON 97148  
Ph. 503-738-2538  
Email: mark@meadeng.com

Scale 1"=40' Sht B



DATE: JUNE 28, 2006 SCALE 1" = 100'

- LEGEND**
- FOUND MONUMENT AS SHOWN HEREON
  - FOUND MONUMENT PER THE PLAT OF SUNSET HILLS, UNLESS OTHERWISE NOTED, SIZE AND DESCRIPTION AS SHOWN HEREON
  - △ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "HLB & ASSOC INC." HELD, PER MAP B-10335
  - FOUND ORIGINAL PLAT MONUMENT PER SUNSET HILLS ADD. NO. 1 SIZE AS SHOWN, HELD.
  - FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "HLB & ASSOC INC." HELD, PER THE PLAT OF SUNSET VIEW ESTATES
  - ✕ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "K FOESTE LS 849" HELD, PER MAP B-11352.
  - SET 5/8" BY 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "CKI INC PLS 2829"
  - SET MAG NAIL AND 1" BRASS WASHER STAMPED "CKI INC."
  - FOUND 3/4" IRON PIPE WITH RED PLASTIC CAP MARKED "CRITES LS 1887" HELD, PER MAP B-10155
  - ▲ SET BERNSTEN ASPHALT NAIL WITH 1 1/2" STAINLESS STEEL WASHER STAMPED "CKI INC PLS 2829"
  - ★ FOUND BERNSTEN ASPHALT NAIL WITH 1 1/2" STAINLESS STEEL WASHER STAMPED "CKI INC PLS 2829" PER MAP B-11918
  - FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "CKI INC PLS 2829", PER MAP B-11918
  - FOUND MAG NAIL AND 1" BRASS WASHER STAMPED "CKI INC." PER MAP B-11918
  - ( ) RECORD VALUE PER PLAT OF SUNSET VIEW ESTATES
  - (1) RECORD VALUE PER MAP B-10335
  - (2) RECORD VALUE PER THE PLAT OF SUNSET HILLS
  - (3) RECORD VALUE PER THE PLAT OF SUNSET HILLS ADD. NO. 1
  - (4) RECORD VALUE PER MAP B-6103
  - (5) RECORD VALUE PER MAP B-11352
  - (6) RECORD VALUE PER MAP B-10155
  - (7) RECORD VALUE PER MAP B-8905
  - XX MONUMENT NUMBER

**BASIS OF BEARINGS**  
THE LINE BETWEEN MONUMENT 1387 & 1458 BEARS SOUTH 45°21'48" EAST, THE RECORD BEARING PER MAP B-6103, SURVEY RECORDS, CLATSOP COUNTY.

- MONUMENT NOTES**
- (1387) FOUND 3-1/4" ALUMINUM CAP STAMPED "CLATSOP COUNTY SURVEYOR T6N R10W 1/4 S15 S22 LS954 1980", HELD, SEE BT 713.
  - (1388) FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP "MEAD LS 2259", HELD SEE THE PLAT OF SHORE TERRACE.
  - (1458) FOUND 3" BRASS CAP STAMPED "HANSON NATURAL RESOURCES NE 1/16 S22 1995 LS 849", HELD, SEE MAP B-10236.

**SHEET INDEX:**  
1) EXTERIOR BOUNDARY  
2) LOT LAYOUT, LEGEND, TRACTS  
3) SURVEYOR'S CERTIFICATE, DECLARATION/ACKNOWLEDGEMENT, SIGNATURES, NARRATIVE

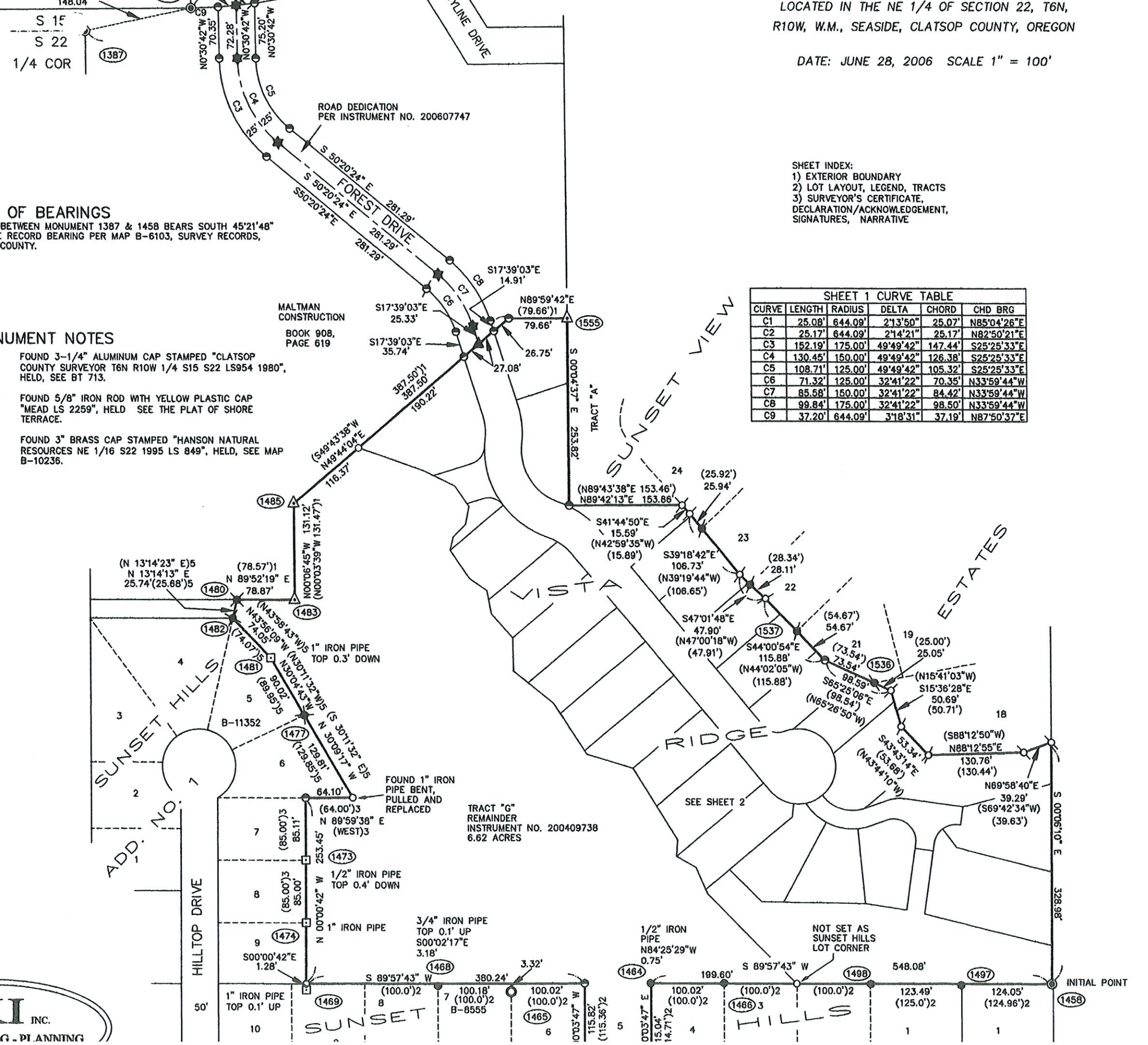
**SHEET 1 CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHD BRG
C1	25.08'	644.09'	2°13'50"	25.07'	N85°04'26"E
C2	25.17'	644.09'	2°14'21"	25.17'	N82°50'21"E
C3	152.19'	175.00'	49°49'42"	147.44'	S25°25'33"E
C4	130.45'	150.00'	49°49'42"	126.38'	S25°25'33"E
C5	108.71'	125.00'	49°49'42"	105.32'	S25°25'33"E
C6	71.32'	125.00'	32°41'22"	70.35'	N33°59'44"W
C7	85.58'	150.00'	32°41'22"	84.42'	N33°59'44"W
C8	99.84'	175.00'	32°41'22"	98.50'	N33°59'44"W
C9	37.20'	644.09'	3°18'31"	37.19'	N87°50'37"E



REGISTERED PROFESSIONAL LAND SURVEYOR  
OREGON  
JUNE 30, 1997  
SCOTT S. COOTER  
2829  
RENEWS 12/31/07

SURVEY FOR: VISTA RIDGE, LLC  
SURVEY BY: CKI, INC.  
P.O. BOX 309



INITIAL POINT  
(1458)



**Mead Engineering**

89643 Ocean Drive, Warrenton, Oregon 97146

Ph. 503-738-2538

mark@meadeng.com

24 May 2022

To: Jeff Flory  
City of Seaside

From: Mark Mead PE

Re: Vista Ridge 2  
15 lot subdivision  
Cul-de-sac length & sidewalks



In the 1980's when the state developed the model zoning and development codes for cities to adopt, the fire code had a limit of 400 feet for the length of dead-end streets with a turn around area. At that time the NFPA-13D fire sprinkler system for one- and two-family dwellings had not been developed. In 2001 the Oregon Department of Land and Conservation and Development adopted the neighborhood street design guidelines. This guide recommends the use of narrow streets to help control the speed of traffic in a residential area.

The Oregon Uniform Fire Code based upon the International Fire Code, which the city has adopted has gone thru many changes since the 1980's. One significant change has been the adoption of NFPA-13D fire sprinklers in dwellings.

Table D103.4 Dead Ends from the fire code allows for a 26-foot-wide street for a total length of 750 feet with a cul-de-sac turn around area. The city of seaside in the past has allowed for cul-de-sacs over 400 foot in length and since 2000 as long as all of the houses on the street have a NFPA-13D fire sprinkler system. The proposed street is 669 feet in length to the center of the proposed cul-de-sac with all of the dwellings proposed to be protected with a 13D fire sprinkler system.

Street	Length
Still Water Ct	498 ft
Lea Way	521 ft
Hill Top Drive	440 ft
Forest Drive	1362 ft – 835 ft above parking area
Royal View Drive	894 ft
Thompson Falls Drive	1188 ft
Indian Way	405 ft
Farrell Ct	445 ft

Mark M. Mead

Professional Engineer Oregon 12181, Hawaii 7492, Washington 49698

Geotechnical Engineer Oregon 12181

Professional Land Surveyor Oregon 2259

Oregon Structural Inspector #2555SIA

Oregon Structural Plans Examiner #2554PEA

OIC-OR Inspector Certification #OIC2587



**Mead Engineering**

89643 Ocean Drive, Warrenton, Oregon 97146

Ph. 503-738-2538

mark@meadeng.com

Based upon the topography of the site and all of the houses having a NFPA-13D fire sprinkler system a variance for the cul-de-sac to be over the allowable 400-foot length is being requested. Also because of the topography and the small number of homes to be located on this street an additional variance is being requested to only install a sidewalk on one side of the street. This type of sidewalk variance has been granted for the newer subdivisions within the city such as Thompson Falls.

Mark M. Mead

Professional Engineer Oregon 12181, Hawaii 7492, Washington 49698

Geotechnical Engineer Oregon 12181

Professional Land Surveyor Oregon 2259

Oregon Structural Inspector #2555SIA

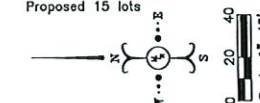
Oregon Structural Plans Examiner #2554PEA

OIC-OR Inspector Certification #OIC2587



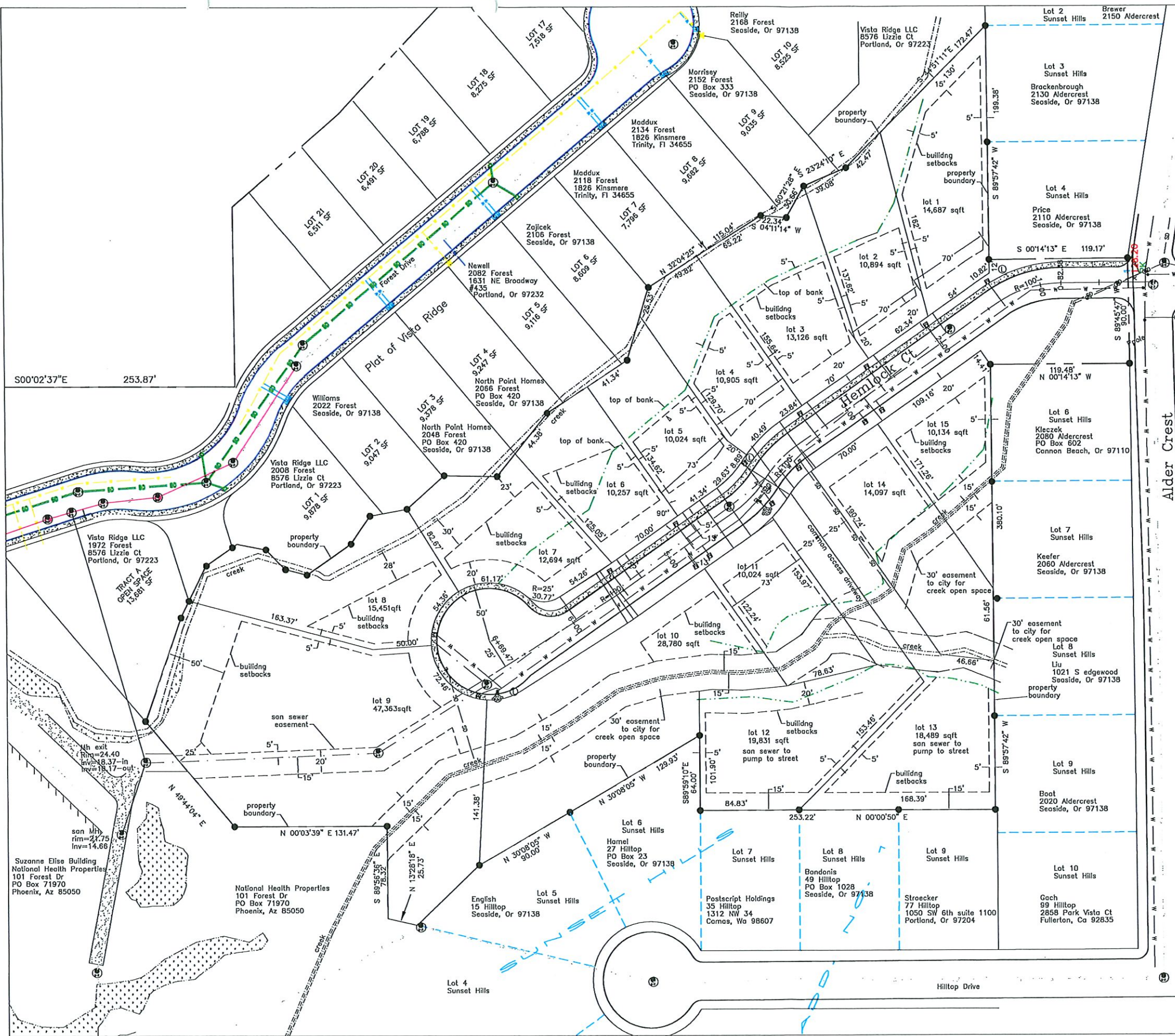
Preliminary Plat  
Vista Ridge 2  
Proposed 15 lots

Elevation datum NVGD 1988  
Zoning: R-1  
setbacks  
Front - 20'  
Rear - 15'  
Side - 5'  
Creek - 15'



Legend

- Property Line
- Center Line R/W
- Existing AC
- Curb
- OS OS Storm Sewer Existing
- OS OS Storm Sewer New
- SS SS Sanitary Sewer Existing
- SS SS Sanitary Sewer New
- W --- W Water Main Existing
- W --- W Water Main New
- GAS --- GAS Gas Line
- Power Telco, Tv conduits
- Telco fiber conduits
- Tree
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- Fire Hydrant
- Manhole
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- Pole Power Pole
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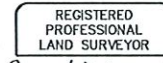


15 Lots  
R-1  
10,000 sqft min  
70' wide at building line

New Lot Layout  
and Utilities

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Ph. 503-440-2630  
Steve.Ackley55@gmail.com



revised 5/11/2022  
added water services  
to lots 11-15

EXPIRES 12/31/2022  
4 March 2022

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Email: mark@meadeng.com



Jeff,

Thanks for sending this on. We provided some input last year, especially in response to some public feedback. I'm not sure what the difference is between a planned development and a subdivision, but here are some thoughts from ODFW's perspective related to aquatic natural resources at the site:

Development should adhere to all riparian setbacks.

The applicant should obtain any and all local, state, and federal permits as required. The materials you sent refer to wetlands identified in the LWI and some small wetlands on site. Despite some dispute referenced in the materials as to the existence of wetlands identified in the LWI, the applicant should verify with the city and DSL any permitting requirements for wetlands prior to any development.

ODFW administers the state's fish passage rules. There is at least one planned driveway that would cross two stream channels it appears. The applicant needs to consult with ODFW to review fish passage requirements (and design approval if needed) prior to construction. The state fish passage rules apply where there is current or historical native migratory fish present. The document provided by the application refers to fish bearing and non-fish bearing waterways but does not specify how that was determined. Even seasonal streams can be fish bearing if fish use is documented during the protocol sampling period (Mar-May). ODFW ultimately would make the determination as to fish bearing and would also make the judgment as to historical fish use (pre-development) for fish passage purposes.

This project seemed to be pretty controversial based on the calls and correspondence we received. I imagine some of that will resurface with this application. Please let us know if we can assist with addressing any biological concerns that may be expressed.

Robert

Robert W. Bradley  
District Fish Biologist  
Oregon Department of Fish and Wildlife  
North Coast Watershed District  
4907 Third St  
Tillamook, OR 97141  
503-842-2741 x18613 (w)  
503-842-8385 (fax)

Note new email address as of 4/26/21: [Robert.Bradley@odfw.oregon.gov](mailto:Robert.Bradley@odfw.oregon.gov)

From: Jeff Flory <[jflory@cityofseaside.us](mailto:jflory@cityofseaside.us)>  
Sent: Friday, May 13, 2022 10:16 AM  
To: [chris.j.knutsen@state.or.us](mailto:chris.j.knutsen@state.or.us)  
Subject: Vista Ridge Subdivision Seaside, OR

Hi Chris,

Kevin Cupples retired a few months ago and I have stepped in as the interim Planning Director. I am navigating all the notice requirements for the different state agencies and I believe ODFW may have received notice of the Vista Ridge Planned Development that was going through the Planning Commission last year. The applicants have pulled that application and are now applying for a subdivision on the same site. Here are the revised site plans and the Critical Areas Report that are associated with the project.

Please let me know if you would like the entire application and submittal or if these two documents will suffice.

Thank you.

**Jeff Flory**  
**Transient Rental Compliance**  
**City of Seaside, Oregon**



## CITY OF SEASIDE STAFF REPORT

**To:** Seaside Planning Commission  
**From:** Jeff Flory, Planning Director  
**Date:** May 26, 2022 for Public Hearing on June 7, 2022  
**Applicant:** Dave Reudink, Allison Hooper, Peter Ostrom, and Kelly McCoy  
**Owner:** 608 W 38<sup>th</sup> St Vancouver, WA 98660

**Location:** 440 14th Ave. Seaside, OR 97138, T6-R10-S16DA TL#0900

**Subject:** Conditional Use 22-024VRD, One Bedroom Vacation Rental Dwelling with Limited Occupancy of three (3) persons.

---

### REQUEST:

The applicants are requesting a conditional use that will allow the establishment of a Vacation Rental Dwelling (VRD) at **440 14<sup>th</sup> Ave.** The subject property is zoned **Medium Density Residential (R-2)** and the **applicants are** requesting a maximum occupancy of **three (3) persons over the age of three, no more than ten persons regardless of age,** within the existing **one (1)** bedroom dwelling.

The review will be conducted in accordance with Article 6 and Article 10 of the Seaside Zoning Ordinance which establishes the review criteria and procedures for a conditional use. The specific review criterion for Vacation Rental Dwellings is included in Section 6.137 of the Ordinance.

### DECISION CRITERIA, FINDINGS AND CONCLUSIONS:

The following is a list of the decision criteria applicable to the request. Each of the criteria is followed by findings or justification statements which may be adopted by the Planning Commission to support their conclusions. The Commission may include conditions which they consider necessary to protect the best interests of the surrounding area of the city as a whole. Although each of the findings or justification statements specifically applies to one of the decision criteria, any of the statements may be used to support the Commission's final decision.

**DECISION CRITERIA # 1:** Pursuant to Section 6.137, Vacation Rental Dwellings (VRDs) within the R-2 and R-3 zones shall be reviewed by the Planning Commission whenever the surrounding VRD density is 20% or greater. A permit shall be issued as an accessory use provided the applicant can demonstrate by written application that all of the following standards are met:

- A. **Parking.** One 9' x 18' off-street space will be provided for each bedroom in the unit, but in no event shall fewer than two spaces be provided.
- B. **Number of Occupants.** The maximum number of occupants cannot exceed three persons (over the age of three) per bedroom. The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations.



The number of overnight renters or the maximum number of occupants may be reduced by the Code Enforcement Officer or Fire Marshal at the time of inspection for valid code reasons.

- C. Residential yard areas. Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area which is not occupied by buildings must be landscaped in some fashion so that parking will not dominate the yard.
- D. Local responsible party. A local responsible party that permanently resides within the County must be identified by the owner. The responsible party will serve as an initial contact person if there are questions regarding the operation of the VRD. The owner shall provide the telephone number of the local contact person to the City, and to the immediate neighbors within the notification area (within 100' of the subject property).
- E. Spatial distribution requirements. Within the medium density residential (R-2) zones and high density residential (R-3) zones, not more than 20% of the properties within 100' of the subject property can be currently licensed for VRD use without Planning Commission review based on the following additional criteria:
  - 1. The use of the property as a VRD will be compatible with the surrounding land uses.
  - 2. The VRD will not contribute to excessive parking congestion on site or along adjacent streets.

A decision by the Commission to approve a VRD request may include conditions that would restrict the number of renters or total occupants in the VRD.

#### **FINDINGS & JUSTIFICATION STATEMENTS:**

Mailed Notice Request Summary: **22-024VRD**: A conditional use request by **Dave Reudink, Allison Hooper, Peter Ostrom, and Kelly McCoy** for a **one (1)** bedroom Vacation Rental Dwelling with a maximum occupancy of **three (3)** persons over the age of three no more than ten (10) persons regardless of age. The property is located at **440 14<sup>th</sup> Ave (T6-R10-16DA-TL0900)** and it is zoned **Medium Density Residential (R2)**.

The applicant's submitted justification is adopted by reference and summarized below:

- a. The applicant's plot plan indicates there will be at least **two (2)** off-street parking spaces, **both spaces are side by side on the gravel parking pad in the front yard.**
- b. The existing **studio cabin will be treated as a one (1)** bedroom residence for the purpose of calculating occupancy. The cabin will have a limited occupancy of **three (3) persons over the age of three no more than ten (10) persons regardless of age.**
- c. The plot plan shows that the parking will not take up over **50% of the required front, rear, or side yards.**
- d. **The applicants have listed Vacasa Located at 1803 S Roosevelt Dr. Seaside, OR 97138 as the local contact and they can be reached at 503-738-6680.**
- e. The owners/applicants, **Dave Reudink, Allison Hooper, Peter Ostrom, and Kelly McCoy** have read all of the standards and conditions applicable to VRDs.



2. The proposed VRD is located within a developed residential neighborhood primarily consisting of single-family dwellings. Currently **30.7%** of the surrounding properties within 100' of the subject property are licensed for VRD use and **23.8%** are licensed within 200'. All of the surrounding property within 100 feet is zoned **Medium Density Residential (R-2)**.
3. The City of Seaside Planning Commission has established a policy concerning the maximum density of VRDs within neighborhoods that are not zoned Resort Residential (RR). Depending on the location, the Commission will only support VRDs where the surrounding density of VRD licensed properties, within 100 feet; is equal to or less than 40% or 50% depending on their proximity to the beach front areas of Seaside. At the time of submittal, the density of the surrounding VRDs was below the **40%** threshold the Planning Commission believes should be used to limit additional VRDs within this area.
4. The property **has not** undergone a preliminary compliance inspection. Any corrections noted during the inspection must be completed and approved by the Community Development Department prior to any transient rental of the property unless an alternative time period is identified for specific items.
5. The City of Seaside Planning Commission adopted a list of policies and a uniform list of conditions they believed should be incorporated into the vacation rental dwelling review process. These are intended to be consistent with the provision in Section 6.031 which in part states: "the Planning Commission may impose, in addition to those standards and requirements expressly specified by this Ordinance, additional conditions which the Planning Commission considers necessary to protect the best interest of the surrounding area of the city as a whole."

In recognition of the Planning Commission's efforts and in keeping with the purpose statement for conditional uses, these conditions are incorporated into any decision to approve a VRD in an effort to promote compatibility of the proposed VRD with surrounding uses.

6. All property owners within 100 feet of the subject property were notified of the applicant's request. At the time of this report, the Community Development Department **had not received any letters** expressing concerns about the request.
7. The proposed use is located within the tsunami inundation zone identified by the State of Oregon.
8. Negative impacts to a neighborhood cannot be predicted based solely on a change from full time occupancy, part-time occupancy, long term rental, or short-term rental. Short term vacation rental dwellings (VRDs) are a regulated use subject to review. It is true that VRDs exhibit short term stays by nonresidents; however, negative impacts can be caused by other permitted uses of longer duration. VRDs do have an identified local contact, restrictions that exceed those applied to the other uses of single-family dwellings, and a complaint resolution process that exceeds the "normal" restrictions applied to non-VRDs.
9. The property **was not** previously permitted as a VRD.
10. The glare from outdoor lighting can have an impact on adjacent properties. All exterior lighting should conform to the newly adopted Outdoor Lighting Ordinance even if any pre-existing outdoor lighting would normally be exempt under the provisions of the



ordinance. This would basically require shielding of any exterior lighting fixtures such that glare will not be visible from the surrounding property for any lighting element that exceeds 450 lumens, the equivalent of a 40-watt incandescent bulb. This does not apply to any existing outdoor security lighting that is timed for short durations and activated by motion detectors.

11. The Commissioners have indicated their expectation for a local contact's response to complaints should be made very clear to the applicant and the local contact. In light of this, they have recognized a need for the local contact to sign and return a Local Contact Acknowledgment Form in an effort to clarify their role as it relates to the VRD's conditions of approval.
12. Pet friendly rentals can create problems for neighboring property owners if the pets are allowed to run at large, trespass onto neighboring property, or cause a disturbance due to excessive barking when left unattended.
13. Repeatedly violating the conditions of approval could render the use incompatible with the surrounding uses and undermine the basis for approving the request. The conditions of approval could include provisions that would allow the permit to be suspended and/or revoked by the Planning Director or his designee in the event the conditions are repeatedly violated. Such action would be subject to review by the Planning Commission at the applicant/owner's expense.
14. Outdoor fire rings, fire places, hot tubs, & spas can lead to late night disruption in neighborhoods where sound seems to carry even more at night and people talk loudly. Smoke from outdoor fires can also be annoying to the occupants of neighboring properties. Staff routinely requires owners and managers to establish hours of use for these types of outdoor facilities to avoid late night use and suggest limiting their use between the hours of 10:00 p.m. & 7:00 a.m.
15. There is a formal process to bring VRDs back before the Planning Commission for reconsideration based on noncompliance with VRD standards & conditions. The City encourages reporting problems with VRDs to the local responsible party and/or owner so problems can be resolved before any City action is required. If there are problems with a VRD that are not being resolved, staff can take actions intended to resolve the issues and can ultimately bring the matter before the Planning Commission if they are not resolved. Prior to review by the Commission, staff works with the owner and/or manager to try and address any noncompliance issues in an effort to address neighboring property owners concerns. Past action by the Commission reiterated that additional conditions should be applied conservatively. They believe staff and the Commission can address additional conditions after a VRD is approved if and when an issue arises, instead of attempting to address every potential concern that may never actually come to fruition.
16. This area was not identified by the City Council or the Planning Commission as a residential area where VRDs should be discouraged due to the destabilizing impacts caused by repetitive property flipping within neighborhoods where the majority of homes are owned by local residents or distinct factors applicable to a defined neighborhood that would conflict with the intent of the Comprehensive Plan & Zoning Ordinance.



## CONCLUSION TO CRITERIA #1:

The Vacation Rental Dwelling requirements have been adequately addressed by the applicant and the request can be approved subject to the following list of special and standard conditions of approval:

1. **Compliance Inspection:** The proposed vacation rental dwelling (VRD) must pass a compliance inspection conducted by the Community Development Department prior to any transient rental. This inspection will verify compliance with all VRD standards and conditions of approval and the applicant is hereby advised that failure to meet certain standards can result in a reduction in the maximum occupancy. The final occupancy will be noted in land use file (**22-024VRD**) and reflected on the City of Seaside Business License. The license is not valid until the appropriate occupancy has been established by the approval of a final compliance inspection by the Community Development Department.

**Please be advised the VRD has not undergone a preliminary compliance inspection. Any corrections noted during the inspection must be completed and verified prior to transient rental unless an alternative time period for completion is identified for specific items.**

2. **Parking spaces: Two (2) off-street parking spaces (9' X 18' per space) are required on site.** These spaces shall be permanently maintained and available on-site for use by the vacation rental occupants. Vacation Rental Dwelling (VRD) tenants are required to park in the spaces provided on site for the VRD. No on-street parking associated with this VRD is allowed at this location. Vehicles parked at VRDs may not project over the sidewalk and block pedestrian traffic. A parking map shall be posted inside the dwelling for the VRD tenants. **The map must clearly indicate:**

**ON-STREET PARKING CANNOT BE USED BY RENTERS. PLEASE USE THE SPACES PROVIDED ON SITE.**

3. **Maximum number of occupants: Three (3) persons over the age of three, no more than ten persons regardless of age.** The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations. If the number of occupants is less than the original number requested, it may have been reduced for valid code reasons.
4. **Applicability of Restrictions:** Properties licensed for VRD use will be expected to adhere to the VRD standards and rules throughout the entire year even when they are not being rented for profit. This will not apply to the dwellings when members of the owner's family are present.
5. **Open Yard Areas:** Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area that is not occupied by buildings must be landscaped in some fashion so parking will not dominate the yard.
6. **Local Contact: Vacasa located at 1803 S Roosevelt Dr, Seaside OR 97138; will be the local contact for the VRD and they can be reached at (503) 738-6680.** The local contact must be available 24 hours a day to address compliance issues while the property is rented. Upon any change in the local contact, the owner must provide formal notice of the updated contact information to the City and all of the neighboring property



owners within 100'. Managers are required to notify the city any time they stop representing a VRD.

Local contact information is available at the Community Development Department (503) 738-7100, City Hall (503) 738-5511, or after business hours at the Seaside Police Department (503) 738-6311.

**The local contact must sign a Local Contact Acknowledgement Form that indicates they are aware of the Planning Commission's expectations concerning response to complaints by neighboring residents and maintain a complaint response log that would be made available to the city upon request. The signed form must be returned to the Community Development Department so it can be included in the land use file. An updated form must be submitted by the owner any time a new contact person is established.**

7. **Compatibility:** A VRD will be compatible with the surrounding land uses and shall not contribute to excessive parking congestion on site or along adjacent streets.
8. **Exterior Outdoor Lighting:** All exterior lighting must conform to the newly adopted Outdoor Lighting Ordinance even if any pre-existing outdoor lighting would normally be exempt under the provisions of the ordinance. This will basically require shielding of any exterior lighting fixtures such that glare will not be visible from the surrounding property for any fixture that exceeds 450 lumens, the equivalent of a 40-watt incandescent bulb. *This does not apply to any existing outdoor security lighting that is timed for short durations and activated by motion detectors.*
9. **Ordinance Compliance & Solid Waste Pick-up:** All vacation rentals must comply with City ordinances regarding noise, smoke, dust, litter, odor, and solid waste collection. Weekly solid waste pick-up is required during all months.
10. **Required Maintenance:** It is the property owner's responsibility to assure that the vacation rental dwelling remains in substantial compliance with Oregon State requirements for the following: Health, Safety, Building, and Fire Codes, Traveler's Accommodation Statutes, and with the Uniform Housing Code. Owners are hereby advised that Carbon Monoxide detectors must be installed and maintained in all newly established transient rental occupancies.
11. **Permit Non-transferability:** Vacation rental dwelling permits are personal in nature and accordingly are not transferable. Upon transfer of the property, the new owner, if he or she so desires, may apply for a new permit in accordance with City Ordinance.
12. **Business License, Room Tax Requirements, & Revocation for Non-Payment:** A City Business License is required and all transient room tax provisions apply to VRD's. The business license must be obtained prior to any rental of the property. Renewals must be made in January of the permit year. If the business license fee or the transient room tax payments are thirty (30) days past due, the VRD Permit will be revoked unless a written extension is granted by the Finance Director.

Some web-based booking platforms (Airbnb, VRBO, etc.) collect and remit transient room tax directly to the city on behalf of VRD owners/applicants. It is the responsibility of the owners/applicants that utilize these platforms to report this revenue on their quarterly returns.



- 13. Conflicts & Potential Denial for Non-Compliance:** Upon receipt of two written complaints from two or more occupants of different residences who claim to be adversely affected by the use of the property as a vacation rental dwelling, or by notice from the City Code Compliance Officer that requirements or conditions of approval are not being met, the Planning Department will work with the parties involved to settle any conflicts. If the problems are not resolved, the permit will be reviewed by the Planning Commission as provided in Zoning Ordinance Section 6.137, Subsection 5 at the applicant's expense. Failure on the applicant's part to meet the standards or conditions will result in modification or denial of the permit.
- 14. Complaints:** Applicants are hereby advised the City Code Compliance Officer routinely follows-up on individual complaints if there is a valid code issue that needs to be addressed by the owner and/or manager of a VRD. Staff does not wait until the occupants of two different residences submit written complaints before they take action to achieve compliance. The VRD complaint procedures are outlined in an attachment to the notice of decision and an electronic complaint form can also be accessed on the City of Seaside's web site:  
<https://www.cityofseaside.us/planning-department/webforms/vacation-rental-complaint>  
This form should be used to report alleged violations that are not being addressed by the local contact or property manager.
- 15. Time Period for Approval, Required Re-inspection:** This VRD will be subject to an annual compliance inspection (subject to applicable fee) during the second year of operation to ensure it maintains compliance with the VRD policies, conditions of approval, and ordinances applicable at the time of re-inspection. Re-inspection notices will be provided annually to the owner and the local contact. Failure to schedule an inspection or failure to correct any deficiencies identified during the inspection will result in the expiration of the conditional use permit and a new application must be approved prior to obtaining a business license to allow the use. Any new application will be subject to the VRD policies, conditions of approval, and ordinances applicable as of the date the new application is accepted.
- 16. Tsunami Information & Weather Radio:** The owner shall post or otherwise provide a tsunami evacuation map in a conspicuous location within the VRD that clearly indicates "You Are Here". In addition, a NOAA weather radio, with automatic alert capabilities, must be provided in a central part of the VRD along with an informational sheet that summarizes the warning capabilities of the radio in the event of a distant tsunami.
- 17. Grace Period:** If a currently licensed VRD sells to another party, staff is allowed to grant a temporary grace period of not more than 60 days in which current bookings can be cleared without being recognized as a violation. The manager or owner must provide staff with a list of the bookings during the grace period and no additional bookings can be taken during that time.
- 18. Pet Friendly Rental:** If the rental allows pets and they generate complaints related to running at large, trespass onto neighboring property, or causing a disturbance due to excessive barking; additional restrictions or containment measures will be required by the Planning Director. The additional restriction can include prohibiting pets at this VRD.
- 19. Repeated Violation of Conditions:** As a conditionally permitted use, owners must understand their use is expected to comply with their conditions of approval and they, their local contacts, and/or property managers will be held accountable for addressing compliance issues. Repeated violations will be subject to citations; and if the violations constitute a



pattern of disregard or neglect resulting in adverse impacts to the neighboring property owner(s), their permit can be suspended and/or revoked by the Planning Director or his designee. Any such action would be subject to review by the Planning Commission to determine if the use can be reauthorized in the same manner as the original request, but subject to revised conditions. Review by the Commission would be at the applicant's expense based on the review fee applicable to the request at the time of review.

**20. Outdoor Fire Rings, Fire Places, Hot Tubs, & Spa Facilities:** If these outdoor facilities are provided, their use will only be allowed between the hours of 7:00 a.m. & 10:00 p.m. These hours must be posted along with any other established rules governing use of the amenity. It is recommended the rules include a reminder there should be **NO EXCESSIVE NOISE AT ANY TIME** and renters should be considerate of the residents that live around the rental dwelling they are staying at.

**☒ If these hours prove to be insufficient to protect the neighboring property owners from unwanted noise or smoke, they will be further restricted by staff. The additional restriction can include prohibiting use of the outdoor facility entirely by VRD tenants.**

### **FINAL STAFF RECOMMENDATION**

Conditionally approve application **22-024VRD** allowing the establishment of a Vacation Rental Dwelling (VRD) with a maximum occupancy of **three(3) persons over the age of three, no more than ten persons regardless of age at 440 14th Ave.** This decision can be supported by the Commission adopting the findings, justification statements, and conclusions in this report subject to the previously stated conditions.

Although they are not conditions of approval, the following is a list of reminders to the applicant.

- This approval will become void one (1) year from the date of decision unless the permit is utilized or an extension of time is approved in the manner prescribed under the Seaside Zoning Ordinance.
- As with any permit, the applicant must meet all applicable standards in the Seaside Zoning Ordinance and any other applicable City of Seaside Ordinances.

*The information in this report and the recommendation of staff is not binding on the Planning Commission and may be altered or amended during the public hearing.*

**Attachments:**        Applicant's Submittal  
                              VRD Density Maps





**City of Seaside, Planning Department**

989 Broadway, Seaside, OR 97138 (503) 738-7100 Fax (503) 738-8765

**Land Use Application**

Kevin Cupples, Director

PLEASE PRINT OR TYPE

NAME OF APPLICANT Dave Reudink	ADDRESS 608 w 38th St Vancouver, WA	ZIP CODE 98660
STREET ADDRESS OR LOCATION OF PROPERTY 440 14th Ave, Seaside, OR 97138		

ZONE	OVERLAY ZONES	TOWNSHIP	RANGE	SECTION	TAX LOT
R2	N/A	6	10	16DA	0900

**PROPOSED USE OF PROPERTY AND PURPOSE OF APPLICATION(S):**  
short-term rental of 1 bedroom cottage

(PLEASE INCLUDE THE APPROPRIATE PLOT PLAN.  
IF ADDITIONAL SPACE IS NEEDED OR SUPPLEMENTAL INFORMATION IS REQUIRED PLEASE ATTACH)

OWNER:		APPLICANT/REPRESENTATIVE (OTHER THAN OWNER):	
PRINT NAME OF PROPERTY OWNER Dave Reudink, Allison Hooper, Peter Ostrom, Kelly McCoy		PRINT NAME OF APPLICANT/REPRESENTATIVE Ned Dobner	
ADDRESS 608 w 38th St Vancouver, WA 98660		ADDRESS 1803 S Roosevelt Dr Unit D Seaside, OR 97138	
PHONE / EMAIL 360-980-1966 seasidesurfcamp@gmail.com		PHONE AND EMAIL (800) 544-0300 ned.dobner@vacasa.com	
DocuSigned by: SIGNATURE OF PROPERTY OWNER	DocuSigned by: SIGNATURE OF PROPERTY OWNER	DocuSigned by: SIGNATURE OF DULY AUTHORIZED APPLICANT/REPRESENTATIVE	DocuSigned by: SIGNATURE OF DULY AUTHORIZED APPLICANT/REPRESENTATIVE

**FOR CITY USE ONLY – DO NOT WRITE BELOW THIS LINE**

CHECK TYPE OF PERMIT REQUESTED:

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> CONDITIONAL USE         | <input type="checkbox"/> NON CONFORMING           | <input type="checkbox"/> SUBDIVISION                | <input type="checkbox"/> ZONING CODE AMENDMENT |
| <input type="checkbox"/> LANDSCAPE/ACCESS REVIEW | <input type="checkbox"/> PLANNED DEVELOPMENT      | <input type="checkbox"/> TEMPORARY USE              | <input type="checkbox"/> ZONING MAP AMENDMENT  |
| <input type="checkbox"/> MAJOR PARTITION         | <input type="checkbox"/> PROPERTY LINE ADJUSTMENT | <input checked="" type="checkbox"/> VACATION RENTAL | <input type="checkbox"/> APPEAL                |
| <input type="checkbox"/> MINOR PARTITION         | <input type="checkbox"/> SETBACK REDUCTION        | <input type="checkbox"/> VARIANCE                   | <input type="checkbox"/>                       |

PLANNING DEPARTMENT USE:	
DATE ACCEPTED AS COMPLETE	BY
4/26/22	F
CASE NUMBER (S)	
22-024 VRD	
HEARING DATE	P.C. ACTION
6-7-22	

OFFICE USE:	
FEE	RECEIPT
DATE FILED	BY



CITY OF SEASIDE  
VACATION RENTAL DWELLING (VRD) APPLICATION

CITY OF SEASIDE

MAR 29 2022

The City of Seaside requires approval for short term (less than 30 day) rental as an accessory use of certain types of residential property. These uses are referred to as vacation rental dwellings (VRDs) and they must be approved in accordance with the conditional use provision in Chapter 6.137 of the Seaside Zoning Ordinance (see attached). Although most requests can be reviewed by the Planning Director; in some cases, the requests require a public hearing before the City Planning Commission. In both cases, VRD applicants must provide the following information.

PAID

In addressing the following questions, additional information and supporting evidence can be referenced and attached to the submittal.

**SUBMITTAL INFORMATION**

- Applicant's Name:** Dave Reudink
- Mailing Address:** 608 W 38th St Vancouver, WA 98660
- Telephone #:** Home 360-980-1966, Work 360-980-1966,  
Fax \_\_\_\_\_, E-Mail seasidesurfcamp@gmail.com
- If the applicant is not the current owner, the applicant must also submit a signed statement from the owner that authorizes the VRD application.**
- VRD Street Address:** 440 14th Ave, Seaside, OR 97138
- What is the total number of off-street parking spaces (9' X 18') that will be available for VRD occupant use?** 2 *The VRD ordinance states: One 9' X 18' off-street space will be provided for each bedroom in the unit, but in no event shall fewer than two spaces be provided.*
- How many bedrooms are in the dwelling?** 1. **Is the applicant requesting that all the bedrooms be used to calculate the maximum occupancy, and if not, how many are being proposed?** \_\_\_\_\_ **Please multiply the last number by three (3) to indicate the requested maximum occupancy for the VRD** 3. *The VRD ordinance states: The maximum number of occupants cannot exceed three persons (over the age of three) per bedroom; however, regardless of the number of bedrooms, no more than 10 can be allowed unless the building is protected by an approved sprinkler system. The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations. The number of overnight renters or the maximum number of occupants may be reduced by the Code Enforcement Officer or Fire Marshal at the time of inspection for valid code reasons.*
- All off street parking spaces must be clearly indicated on the applicant's site plan. Will the existing parking spaces or any planned expansion of parking take up more than 50% of the property's yard areas?** No. *The VRD ordinance states: Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area which is not occupied by buildings must be landscaped in some fashion so that parking will not dominate the yard.*
- Who will be acting as the local responsible party for the VRD owner?**  
**Name:** Lisa Payne **Phone #** (800) 544-0300  
**Address:** 1803 S Roosevelt Dr Unit D Seaside, OR 97138. *The VRD ordinance states: A local responsible party that permanently resides within the county must be identified by the owner. The responsible party will serve as an initial contact person if there are questions regarding*

ORIGINAL

19003

30  
475  
430  
925  
CC



the operation of the VRD. The owner shall provide the telephone number of the local contact person to the City, and to the immediate neighbors within the notification area (within 100' of the subject property).

10. What is the zone designation of subject property? R2. The VRD ordinance states: Within the medium density residential (R-2) zones and high density residential (R-3) zones, if more than 20% of the dwelling units within 100' of the subject property are currently licensed for VRD use, a public hearing and review by the Planning Commission is required.

11. Provide a site plan, drawn to scale, which indicates the following: the actual shape and dimensions of the lot, the sizes and locations of buildings and off street parking spaces (existing & proposed). In addition to the site plan, a floor plan(s) must be included which clearly indicates the intended use of all interior areas (e.g. bedrooms, kitchen, living room, storage etc.).

12. The following is a list of standard conditions that apply to VRDs:

- Vacation rentals must comply with City ordinances regarding noise, smoke, dust, litter, odor, and solid waste collection Weekly solid waste pick-up is required during all months.
- Prior to issuance of a vacation rental dwelling permit, the building in question must be inspected and be in substantial compliance with the Uniform Housing Code.
- It is the property owner's responsibility to assure that the vacation rental dwelling remains in substantial compliance with Oregon State requirements for the following: Health, Safety, Building, and Fire Codes; and Traveler's Accommodation Statutes, and with the Uniform Housing Code.
- Vacation rental dwelling permits are personal in nature and accordingly are not transferable. Upon transfer of the property, the new owner, if he or she desires, may apply for a new permit in accordance with the VRD ordinance.
- A City Business License is required and all transient room tax provisions apply to VRD's. The business license must be obtained prior to any rental of the property. Renewals must be made in January of the permit year. If the business license fee or the transient room tax payments are thirty (30) days past due, the VRD Permit will be revoked unless a written extension is granted by the Finance Director.
- Upon receipt of two written complaints from two or more occupants of different residences who claim to be adversely affected by the use of the property as a vacation rental dwelling, or by notice from the City Code Compliance Officer that requirements or conditions of approval are not being met, the Planning Department will work with the parties involved to settle any conflicts. If the problems are not resolved, the permit will be reviewed by the Planning Commission as provided in the VRD ordinance. Failure on the applicant's part to meet the standards or conditions will result in denial of the application. This would be in addition to any violation procedures specified in Article 12 of the Seaside Zoning Ordinance.

Has the owner or the duly authorized applicant read all the standard conditions and answered all of the questions honestly based on their understanding of the VRD request? Yes

By signing this application, the applicant is also acknowledging that if the request requires review by the Planning Commission (Ordinance Provision 6.137E), the Applicant or a duly Authorized representative must attend the Public Hearing.

Applicant's Signature: Dave Rendink, Date: 21-Mar-2022

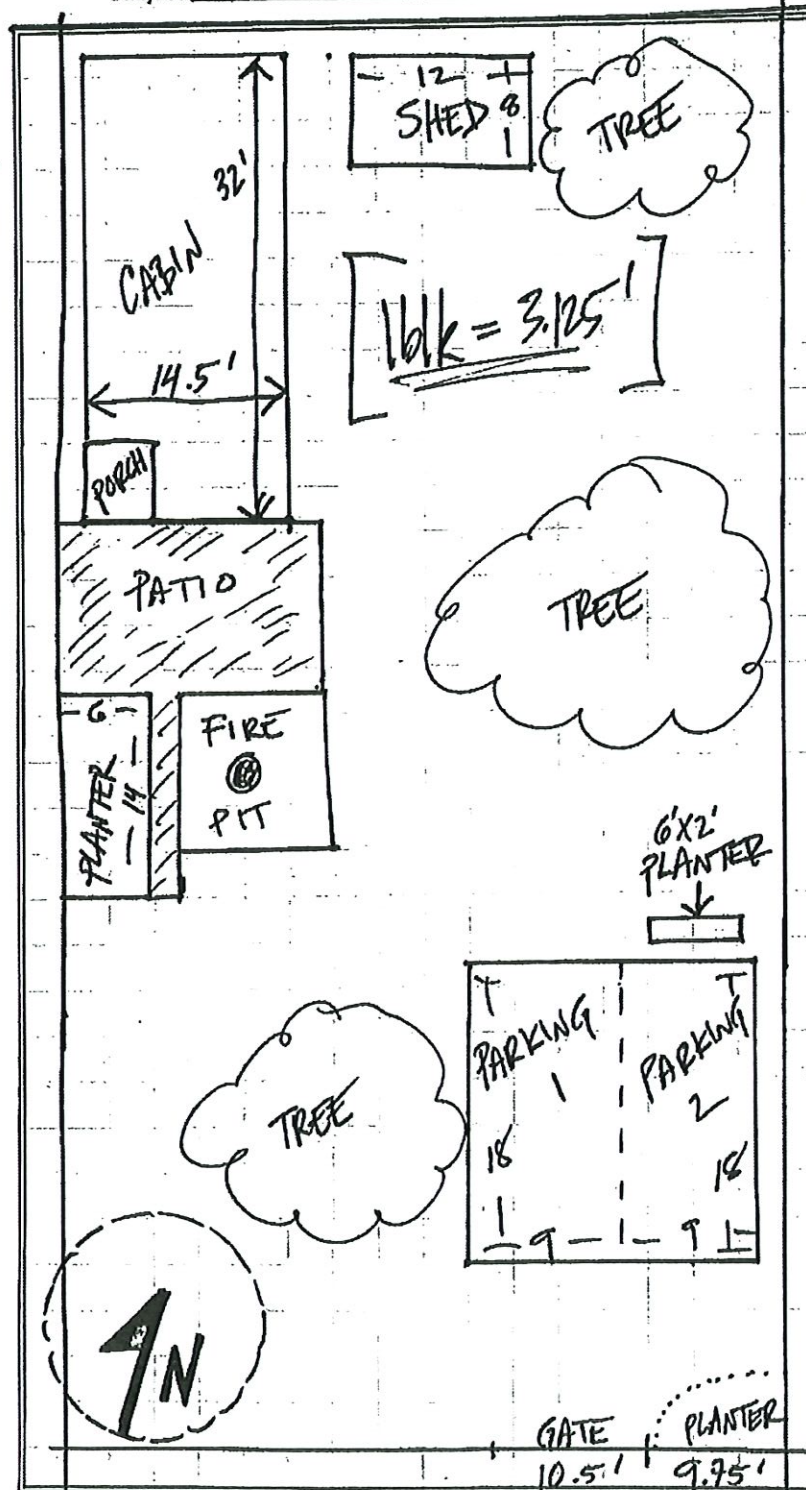
Company \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_

Subject \_\_\_\_\_

LOT  
1 block  
= 3.125'



NOTE: Drawings should show dimensions clearly and accurately at all pertinent points.

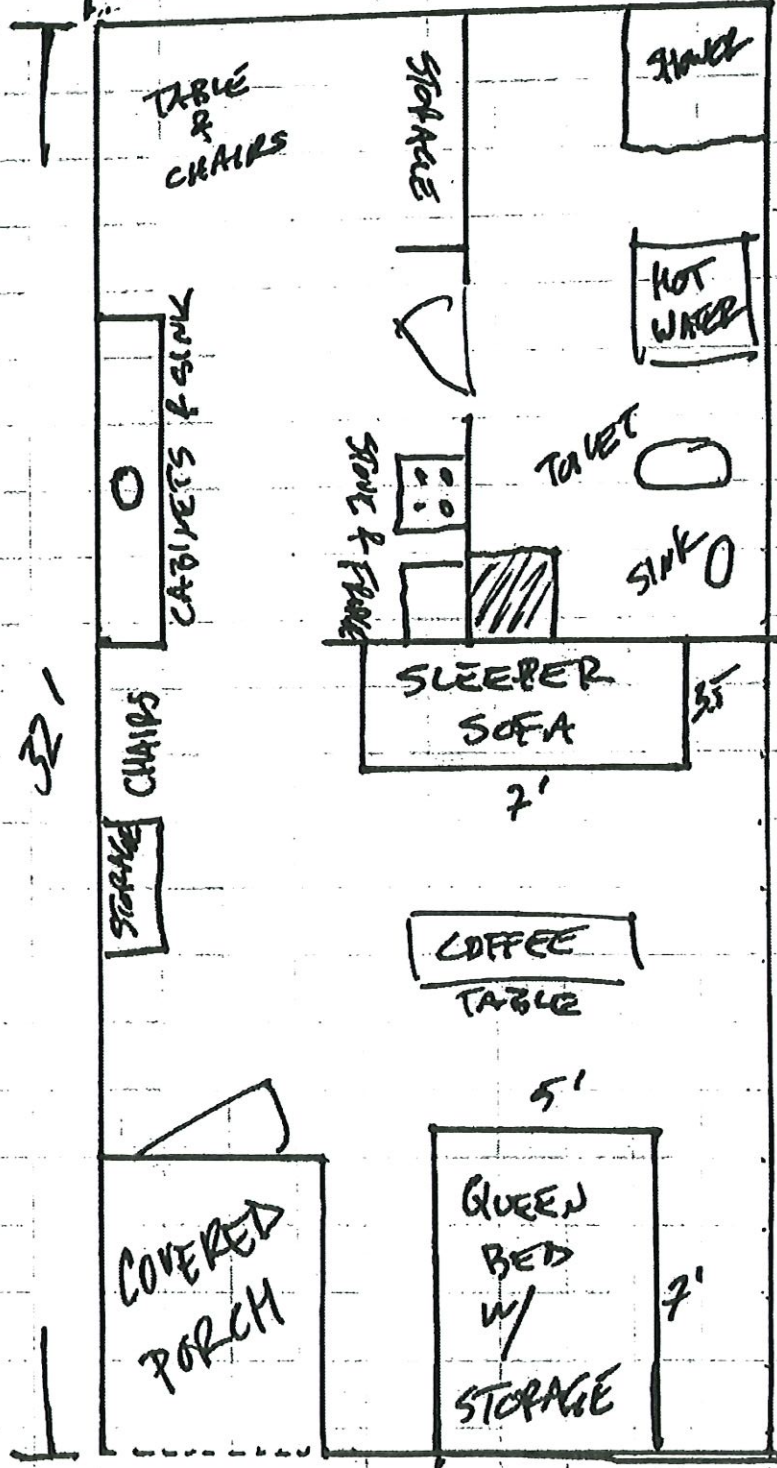
← 14th AVE →



By

CABIN 1 block = 1.5'

14.5'



32'

TABLE & CHAIRS

STORAGE

HOT WATER

HOT WATER

CABINETS & SINK

STOVE & FRIDGE

TAPET

SINK

SLEEPER SOFA

7'

3.5'

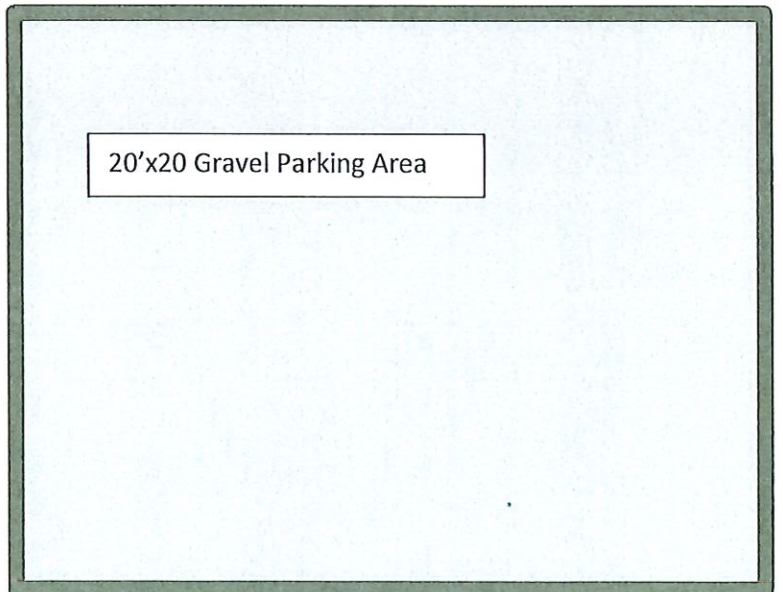
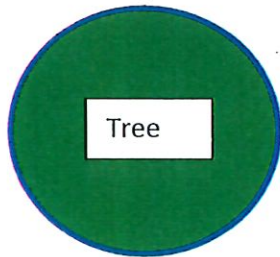
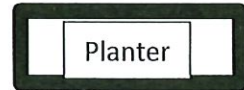
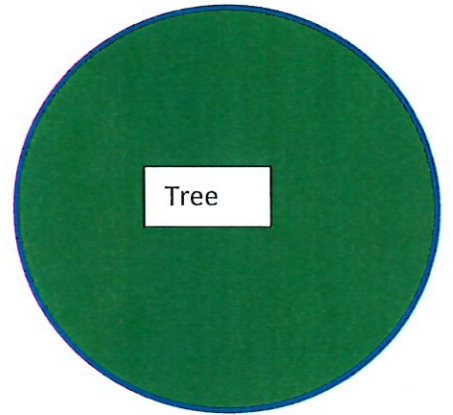
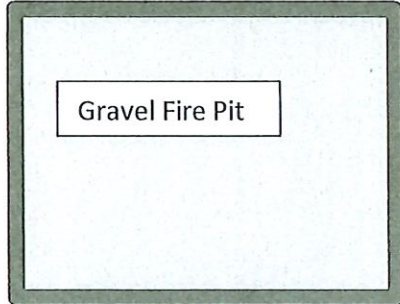
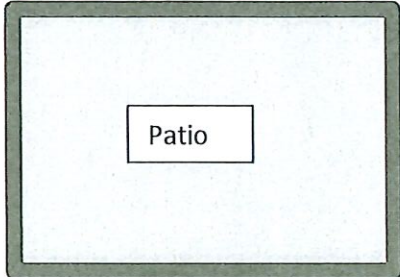
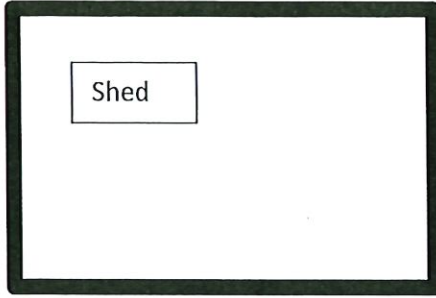
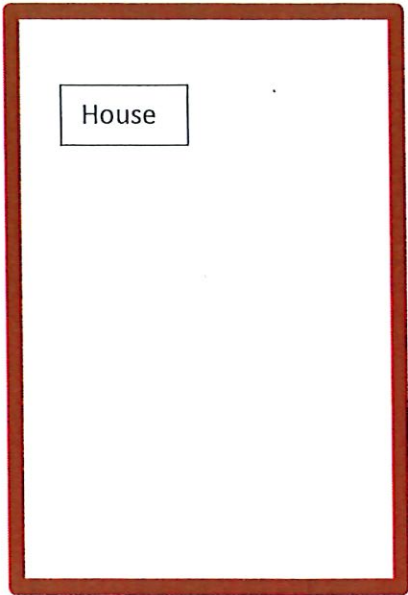
COFFEE TABLE

5'

COVERED PORCH

QUEEN BED w/ STORAGE

7'





-----**For Office Use Only**-----

At the time of submittal, the applicant must pay the annual business license fee based on the proposed occupancy of the VRD: 1-5 occupants \$475.00, 6-10 occupants \$500.00, 11+ occupants 550.00. This fee must be accompanied by a one time filing fee of \$20.00.

In addition to the business license fee, a \$430.00 planning review fee must be submitted with this application. If the surrounding density of VRDs (see question 10) requires a Planning Commission review, an additional fee of \$240.00 must be paid before staff will schedule the public hearing to review the application.

If the VRD application is not approved, only the business license fee will be refunded.

Submittal Date: 3-29-22 Amount Paid: \$925 to City Hall

From: Shannon Jacks <SJacks@recology.com>

Date: Thu, Mar 3, 2022 at 9:32 AM

Subject: RE: Service change - 1080503466

To: Seaside Surfcamp <seasidesurfcamp@gmail.com>, \*RWO Info <RWOinfo@recology.com>

Good morning Peter,

I have changed your service from every other week to weekly, keeping the side yard service, starting on Monday, 4/4. Your new monthly service rate is \$18.07. Please let us know if you have any questions.

Please include [rwoinfo@recology.com](mailto:rwoinfo@recology.com) in all emails to insure a fast response time.

Thank you,

Shannon Jacks

Customer Service Representative

Recology(tm)

[sjacks@recology.com](mailto:sjacks@recology.com)

WASTE ZERO

Recologize = WASTE ZERO

The Best and Highest Use of All Resources!

This email may contain confidential and privileged material for the sole use of the intended recipient(s). Any review, use, distribution or disclosure by others is strictly prohibited. If you are not the intended recipient (or authorized to receive for the recipient), please contact the sender by reply email and delete all copies of this message.

-----Original Message-----

From: Seaside Surfcamp <[seasidesurfcamp@gmail.com](mailto:seasidesurfcamp@gmail.com)>

Sent: Thursday, March 3, 2022 9:26 AM

To: \*RWO Info <[RWOinfo@recology.com](mailto:RWOinfo@recology.com)>

Subject: Service change

Hi,

I am writing to make a change to our garbage collection schedule for service address 440 14th Ave Seaside, OR 97138. The account number is 1080503466.

We currently have every other week pick up and would like to change to weekly pick up starting 4/1/22. We will continue with side-yard service.

Please send confirmation of the change with the details of our service and new rate.

Thanks,

Peter Ostrom





## Density Analysis 440 14th

	Tax Lot	Address
1	61016DA00200	451 15th
2	61016DA00300	441 15th
3	61016DA00301	431 15th
4	61016DA00400	421 15th
5	61016DA00701	420 14th
6	61016DA00800	430 14th
	<b>61016DA00900</b>	<b>440 14th</b>
7	61016DA01000	450 14th
8	61016DA01100	470 14th
9	61016DA06801	461 14th
10	61016DA07000	441 14th
11	61016DA07001	451 14th
12	61016DA07100	1321 N Franklin
13	61016DA07200	1315 N Franklin

**4 / 13 = 30.7%**

**Applicant**  
**VRD 100'**  
**VRD 200'**

	Tax Lot	Address
14	61016DA00101	510 14th
15	61016DA00102	507 15th
16	61016DA00201	471 15th
17	61016DA00400	421 15th
18	1016DA00500	Tax Lot 0500
19	61016DA00600	1411 N Franklin
20	61016DA01200	350 14th
21	61016DA01201	1416 N Franklin
22	61016DA06000	471 16th
23	61016DA06100	450 15th
24	61016DA06400	410 15th
25	61016DA06401	418 15th
26	61016DA06500	436 15th
27	61016DA06501	440 15th
28	61016DA06600	446 15th
29	61016DA06700	Tax Lot 6700
30	61016DA06701	511 14th
31	61016DA08001	470 13th
32	61016DA07300	1307 N Franklin
33	61016DA07500	412 13th
34	61016DA07600	420 13th
35	61016DA07700	430 13th
36	61016DA07800	440 13th
37	61016DA07900	450 13th
38	61016DA08000	462 13th
39	61016DA06800	Tax Lot 6800
40	61016DA08100	510 13th
41	61016DA08200	335 14th
42	1016DA08300	1312 N Franklin

**10 / 42 = 23.8%**

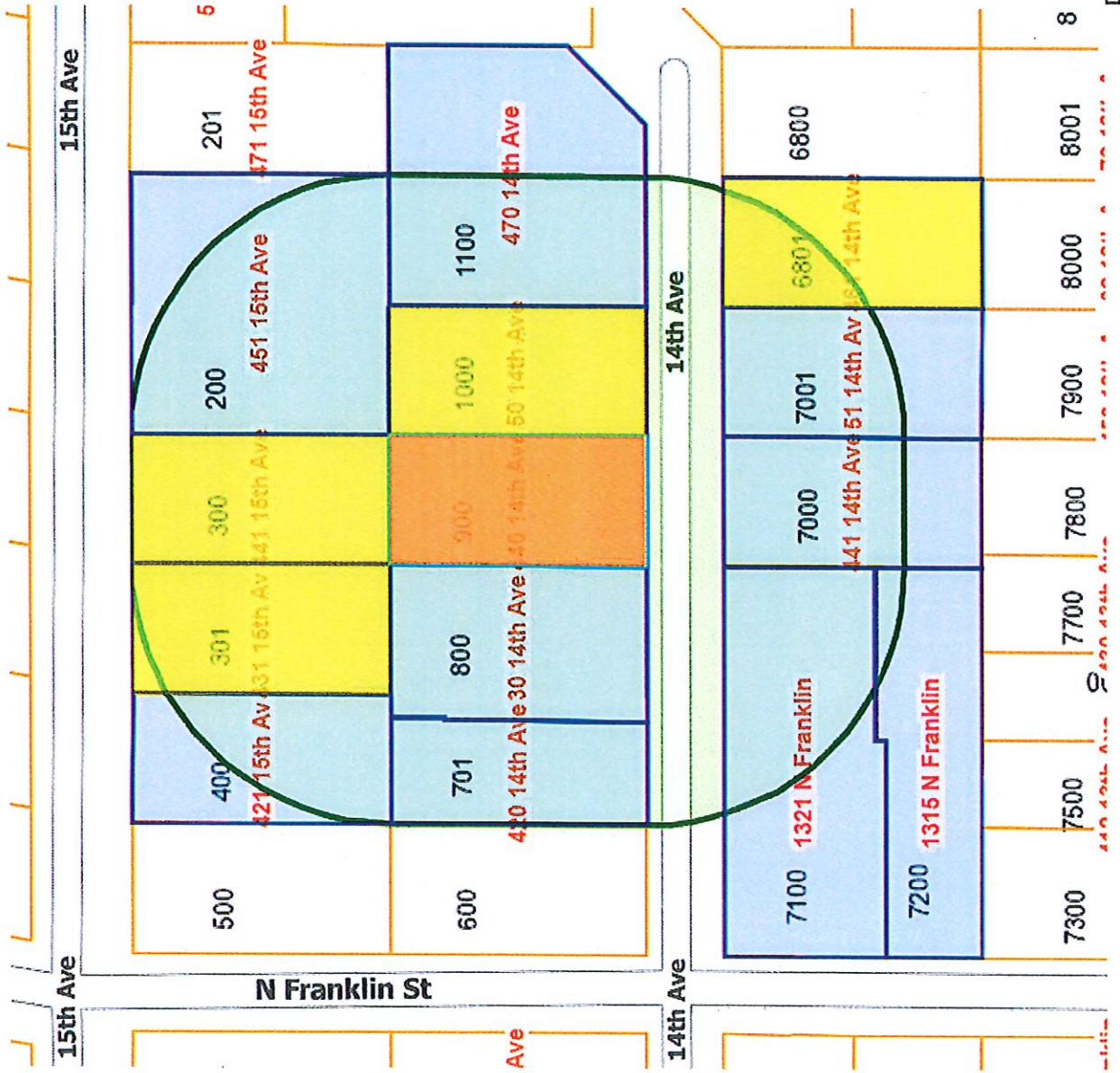
Density as of 04/26/2022



Applicant  
Existing VRD

# 440 14th 100' Analysis

4 / 13 = 30.7%



Density as of 04/26/22





CITY OF SEASIDE STAFF REPORT

**To:** Seaside Planning Commission  
**From:** Jeff Flory, Planning Director  
**Date:** May 26, 2022 for Public Hearing on June 7, 2022  
**Applicant/  
Owner:** Lisa and Larry Brooks  
999 Gull Ave.  
Foster City, CA 94404

**Location:** 781 Beach Dr. Seaside, OR 97138, T6-R10-S21DB TL#06000

**Subject:** Conditional Use 22-025VRD, Four Bedroom Vacation Rental Dwelling with Limited Occupancy of ten (10) persons.

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**REQUEST:**

The applicant is requesting a conditional use that will allow the establishment of a Vacation Rental Dwelling (VRD) at **781 Beach Dr.** The subject property is zoned **High Density Residential (R-3)** and the **applicant is** requesting a maximum occupancy of **ten (10) persons regardless of age**, within the existing **four (4)** bedroom dwelling.

The review will be conducted in accordance with Article 6 and Article 10 of the Seaside Zoning Ordinance which establishes the review criteria and procedures for a conditional use. The specific review criterion for Vacation Rental Dwellings is included in Section 6.137 of the Ordinance.

**DECISION CRITERIA, FINDINGS AND CONCLUSIONS:**

The following is a list of the decision criteria applicable to the request. Each of the criteria is followed by findings or justification statements which may be adopted by the Planning Commission to support their conclusions. The Commission may include conditions which they consider necessary to protect the best interests of the surrounding area of the city as a whole. Although each of the findings or justification statements specifically applies to one of the decision criteria, any of the statements may be used to support the Commission's final decision.

**DECISION CRITERIA # 1:** Pursuant to Section 6.137, Vacation Rental Dwellings (VRDs) within the R-2 and R-3 zones shall be reviewed by the Planning Commission whenever the surrounding VRD density is 20% or greater. A permit shall be issued as an accessory use provided the applicant can demonstrate by written application that all of the following standards are met:

- A. **Parking.** One 9' x 18' off-street space will be provided for each bedroom in the unit, but in no event shall fewer than two spaces be provided.
- B. **Number of Occupants.** The maximum number of occupants cannot exceed three persons (over the age of three) per bedroom. The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations.



The number of overnight renters or the maximum number of occupants may be reduced by the Code Enforcement Officer or Fire Marshal at the time of Inspection for valid code reasons.

- C. Residential yard areas. Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area which is not occupied by buildings must be landscaped in some fashion so that parking will not dominate the yard.
- D. Local responsible party. A local responsible party that permanently resides within the County must be identified by the owner. The responsible party will serve as an initial contact person if there are questions regarding the operation of the VRD. The owner shall provide the telephone number of the local contact person to the City, and to the immediate neighbors within the notification area (within 100' of the subject property).
- E. Spatial distribution requirements. Within the medium density residential (R-2) zones and high density residential (R-3) zones, not more than 20% of the properties within 100' of the subject property can be currently licensed for VRD use without Planning Commission review based on the following additional criteria:
  - 1. The use of the property as a VRD will be compatible with the surrounding land uses.
  - 2. The VRD will not contribute to excessive parking congestion on site or along adjacent streets.

A decision by the Commission to approve a VRD request may include conditions that would restrict the number of renters or total occupants in the VRD.

#### FINDINGS & JUSTIFICATION STATEMENTS:

Mailed Notice Request Summary: **22-025VRD**: A conditional use request by **Lisa and Larry Brooks** for a **four (4)** bedroom Vacation Rental Dwelling with a maximum occupancy of **ten (10)** persons regardless of age. The property is located at **781 Beach Dr (T6-R10-21DB-TL06000)** and it is zoned **High Density Residential (R3)**. The applicant's submitted justification is adopted by reference and summarized below:

- a. The applicant's plot plan indicates there will be at least **four (4)** off-street parking spaces, **three spaces stacked in the driveway on the north side of the dwelling and one space on the parking pad in front of the garage.**
- b. The existing **four (4)** bedroom residence will have a limited occupancy of **ten (10) persons regardless of age.**
- c. The plot plan shows that the parking will not take up over **50% of the required front, rear, or side yards.**
- d. **Lisa and Larry Brooks have listed Kindwyn Hoge who lives at 1909 Huckleberry Dr. Seaside, OR 97138 as the local contact and they can be reached at 503-717-1142.**
- e. The owner(s)/applicant(s), **Lisa and Larry Brooks have** read all of the standards and conditions applicable to VRDs.



2. The proposed VRD is located within a developed residential neighborhood primarily consisting of single-family dwellings. Currently **29.4%** of the surrounding properties within 100' of the subject property are licensed for VRD use and **27.9%** are licensed within 200'. All of the surrounding property within 100 feet is zoned **High Density Residential (R-3)**.
3. The City of Seaside Planning Commission has established a policy concerning the maximum density of VRDs within neighborhoods that are not zoned Resort Residential (RR). Depending on the location, the Commission will only support VRDs where the surrounding density of VRD licensed properties, within 100 feet; is equal to or less than 40% or 50% depending on their proximity to the beach front areas of Seaside. At the time of submittal, the density of the surrounding VRDs was below the **40%** threshold the Planning Commission believes should be used to limit additional VRDs within this area.
4. The property **has not** undergone a preliminary compliance inspection. Any corrections noted during the inspection must be completed and approved by the Community Development Department prior to any transient rental of the property unless an alternative time period is identified for specific items.
5. The City of Seaside Planning Commission adopted a list of policies and a uniform list of conditions they believed should be incorporated into the vacation rental dwelling review process. These are intended to be consistent with the provision in Section 6.031 which in part states: "the Planning Commission may impose, in addition to those standards and requirements expressly specified by this Ordinance, additional conditions which the Planning Commission considers necessary to protect the best interest of the surrounding area of the city as a whole."

In recognition of the Planning Commission's efforts and in keeping with the purpose statement for conditional uses, these conditions are incorporated into any decision to approve a VRD in an effort to promote compatibility of the proposed VRD with surrounding uses.

6. All property owners within 100 feet of the subject property were notified of the applicant's request. At the time of this report, the Community Development Department **had not received any letters** expressing concerns about the request.
7. The proposed use is located within the tsunami inundation zone identified by the State of Oregon.
8. Negative impacts to a neighborhood cannot be predicted based solely on a change from full time occupancy, part-time occupancy, long term rental, or short-term rental. Short term vacation rental dwellings (VRDs) are a regulated use subject to review. It is true that VRDs exhibit short term stays by nonresidents; however, negative impacts can be caused by other permitted uses of longer duration. VRDs do have an identified local contact, restrictions that exceed those applied to the other uses of single-family dwellings, and a complaint resolution process that exceeds the "normal" restrictions applied to non-VRDs.
9. The property **was** previously permitted as a VRD and was active at the time of the sale.
10. The glare from outdoor lighting can have an impact on adjacent properties. All exterior lighting should conform to the newly adopted Outdoor Lighting Ordinance even if any pre-existing outdoor lighting would normally be exempt under the provisions of the



ordinance. This would basically require shielding of any exterior lighting fixtures such that glare will not be visible from the surrounding property for any lighting element that exceeds 450 lumens, the equivalent of a 40-watt incandescent bulb. This does not apply to any existing outdoor security lighting that is timed for short durations and activated by motion detectors.

11. The Commissioners have indicated their expectation for a local contact's response to complaints should be made very clear to the applicant and the local contact. In light of this, they have recognized a need for the local contact to sign and return a Local Contact Acknowledgment Form in an effort to clarify their role as it relates to the VRD's conditions of approval.
12. Pet friendly rentals can create problems for neighboring property owners if the pets are allowed to run at large, trespass onto neighboring property, or cause a disturbance due to excessive barking when left unattended.
13. Repeatedly violating the conditions of approval could render the use incompatible with the surrounding uses and undermine the basis for approving the request. The conditions of approval could include provisions that would allow the permit to be suspended and/or revoked by the Planning Director or his designee in the event the conditions are repeatedly violated. Such action would be subject to review by the Planning Commission at the applicant/owner's expense.
14. Outdoor fire rings, fire places, hot tubs, & spas can lead to late night disruption in neighborhoods where sound seems to carry even more at night and people talk loudly. Smoke from outdoor fires can also be annoying to the occupants of neighboring properties. Staff routinely requires owners and managers to establish hours of use for these types of outdoor facilities to avoid late night use and suggest limiting their use between the hours of 10:00 p.m. & 7:00 a.m.
15. There is a formal process to bring VRDs back before the Planning Commission for reconsideration based on noncompliance with VRD standards & conditions. The City encourages reporting problems with VRDs to the local responsible party and/or owner so problems can be resolved before any City action is required. If there are problems with a VRD that are not being resolved, staff can take actions intended to resolve the issues and can ultimately bring the matter before the Planning Commission if they are not resolved. Prior to review by the Commission, staff works with the owner and/or manager to try and address any noncompliance issues in an effort to address neighboring property owners concerns. Past action by the Commission reiterated that additional conditions should be applied conservatively. They believe staff and the Commission can address additional conditions after a VRD is approved if and when an issue arises, instead of attempting to address every potential concern that may never actually come to fruition.
16. This area was not identified by the City Council or the Planning Commission as a residential area where VRDs should be discouraged due to the destabilizing impacts caused by repetitive property flipping within neighborhoods where the majority of homes are owned by local residents or distinct factors applicable to a defined neighborhood that would conflict with the intent of the Comprehensive Plan & Zoning Ordinance.



## **CONCLUSION TO CRITERIA #1:**

The Vacation Rental Dwelling requirements have been adequately addressed by the applicant and the request can be approved subject to the following list of special and standard conditions of approval:

1. **Compliance Inspection:** The proposed vacation rental dwelling (VRD) must pass a compliance inspection conducted by the Community Development Department prior to any transient rental. This inspection will verify compliance with all VRD standards and conditions of approval and the applicant is hereby advised that failure to meet certain standards can result in a reduction in the maximum occupancy. The final occupancy will be noted in land use file **(22-025VRD)** and reflected on the City of Seaside Business License. The license is not valid until the appropriate occupancy has been established by the approval of a final compliance inspection by the Community Development Department.

**Please be advised the VRD has not undergone a preliminary compliance inspection. Any corrections noted during the inspection must be completed and verified prior to transient rental unless an alternative time period for completion is identified for specific items.**

2. **Parking spaces: Four (4) off-street parking spaces (9' X 18' per space) are required on site.** These spaces shall be permanently maintained and available on-site for use by the vacation rental occupants. Vacation Rental Dwelling (VRD) tenants are required to park in the spaces provided on site for the VRD. No on-street parking associated with this VRD is allowed at this location. Vehicles parked at VRDs may not project over the sidewalk and block pedestrian traffic. A parking map shall be posted inside the dwelling for the VRD tenants. **The map must clearly indicate:**

**ON-STREET PARKING CANNOT BE USED BY RENTERS. PLEASE USE THE SPACES PROVIDED ON SITE.**

3. **Maximum number of occupants: Ten (10) persons regardless of age.** The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations. If the number of occupants is less than the original number requested, it may have been reduced for valid code reasons.
4. **Applicability of Restrictions:** Properties licensed for VRD use will be expected to adhere to the VRD standards and rules throughout the entire year even when they are not being rented for profit. This will not apply to the dwellings when members of the owner's family are present.
5. **Open Yard Areas:** Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area that is not occupied by buildings must be landscaped in some fashion so parking will not dominate the yard.
6. **Local Contact: Kindwyn Hoge who lives at 1909 Huckleberry Dr., Seaside OR 97138;** will be the local contact for the VRD and they can be reached at **(503) 717-1142.** The local contact must be available 24 hours a day to address compliance issues while the property is rented. Upon any change in the local contact, the owner must provide formal notice of the updated contact information to the City and all of the neighboring



property owners within 100'. Managers are required to notify the city any time they stop representing a VRD.

Local contact information is available at the Community Development Department (503) 738-7100, City Hall (503) 738-5511, or after business hours at the Seaside Police Department (503) 738-6311.

**☒ The local contact must sign a Local Contact Acknowledgement Form that indicates they are aware of the Planning Commission's expectations concerning response to complaints by neighboring residents and maintain a complaint response log that would be made available to the city upon request. The signed form must be returned to the Community Development Department so it can be included in the land use file. An updated form must be submitted by the owner any time a new contact person is established.**

7. **Compatibility:** A VRD will be compatible with the surrounding land uses and shall not contribute to excessive parking congestion on site or along adjacent streets.
8. **Exterior Outdoor Lighting:** All exterior lighting must conform to the newly adopted Outdoor Lighting Ordinance even if any pre-existing outdoor lighting would normally be exempt under the provisions of the ordinance. This will basically require shielding of any exterior lighting fixtures such that glare will not be visible from the surrounding property for any fixture that exceeds 450 lumens, the equivalent of a 40-watt incandescent bulb. *This does not apply to any existing outdoor security lighting that is timed for short durations and activated by motion detectors.*
9. **Ordinance Compliance & Solid Waste Pick-up:** All vacation rentals must comply with City ordinances regarding noise, smoke, dust, litter, odor, and solid waste collection. Weekly solid waste pick-up is required during all months.
10. **Required Maintenance:** It is the property owner's responsibility to assure that the vacation rental dwelling remains in substantial compliance with Oregon State requirements for the following: Health, Safety, Building, and Fire Codes, Traveler's Accommodation Statutes, and with the Uniform Housing Code. Owners are hereby advised that Carbon Monoxide detectors must be installed and maintained in all newly established transient rental occupancies.
11. **Permit Non-transferability:** Vacation rental dwelling permits are personal in nature and accordingly are not transferable. Upon transfer of the property, the new owner, if he or she so desires, may apply for a new permit in accordance with City Ordinance.
12. **Business License, Room Tax Requirements, & Revocation for Non-Payment:** A City Business License is required and all transient room tax provisions apply to VRD's. The business license must be obtained prior to any rental of the property. Renewals must be made in January of the permit year. If the business license fee or the transient room tax payments are thirty (30) days past due, the VRD Permit will be revoked unless a written extension is granted by the Finance Director.

Some web-based booking platforms (Airbnb, VRBO, etc.) collect and remit transient room tax directly to the city on behalf of VRD owners/applicants. It is the responsibility of the owners/applicants that utilize these platforms to report this revenue on their quarterly returns.



- 13. Conflicts & Potential Denial for Non-Compliance:** Upon receipt of two written complaints from two or more occupants of different residences who claim to be adversely affected by the use of the property as a vacation rental dwelling, or by notice from the City Code Compliance Officer that requirements or conditions of approval are not being met, the Planning Department will work with the parties involved to settle any conflicts. If the problems are not resolved, the permit will be reviewed by the Planning Commission as provided in Zoning Ordinance Section 6.137, Subsection 5 at the applicant's expense. Failure on the applicant's part to meet the standards or conditions will result in modification or denial of the permit.
- 14. Complaints:** Applicants are hereby advised the City Code Compliance Officer routinely follows-up on individual complaints if there is a valid code issue that needs to be addressed by the owner and/or manager of a VRD. Staff does not wait until the occupants of two different residences submit written complaints before they take action to achieve compliance. The VRD complaint procedures are outlined in an attachment to the notice of decision and an electronic complaint form can also be accessed on the City of Seaside's web site:  
<https://www.cityofseaside.us/planning-department/webforms/vacation-rental-complaint>  
This form should be used to report alleged violations that are not being addressed by the local contact or property manager.
- 15. Time Period for Approval, Required Re-inspection:** This VRD will be subject to an annual compliance inspection (subject to applicable fee) during the second year of operation to ensure it maintains compliance with the VRD policies, conditions of approval, and ordinances applicable at the time of re-inspection. Re-inspection notices will be provided annually to the owner and the local contact. Failure to schedule an inspection or failure to correct any deficiencies identified during the inspection will result in the expiration of the conditional use permit and a new application must be approved prior to obtaining a business license to allow the use. Any new application will be subject to the VRD policies, conditions of approval, and ordinances applicable as of the date the new application is accepted.
- 16. Tsunami Information & Weather Radio:** The owner shall post or otherwise provide a tsunami evacuation map in a conspicuous location within the VRD that clearly indicates “**You Are Here**”. In addition, a NOAA weather radio, with automatic alert capabilities, must be provided in a central part of the VRD along with an informational sheet that summarizes the warning capabilities of the radio in the event of a distant tsunami.
- 17. Grace Period:** If a currently licensed VRD sells to another party, staff is allowed to grant a temporary grace period of not more than 60 days in which current bookings can be cleared without being recognized as a violation. The manager or owner must provide staff with a list of the bookings during the grace period and no additional bookings can be taken during that time.
- 18. Pet Friendly Rental:** If the rental allows pets and they generate complaints related to running at large, trespass onto neighboring property, or causing a disturbance due to excessive barking; additional restrictions or containment measures will be required by the Planning Director. The additional restriction can include prohibiting pets at this VRD.
- 19. Repeated Violation of Conditions:** As a conditionally permitted use, owners must understand their use is expected to comply with their conditions of approval and they, their local contacts, and/or property managers will be held accountable for addressing compliance issues. Repeated violations will be subject to citations; and if the violations constitute a



pattern of disregard or neglect resulting in adverse impacts to the neighboring property owner(s), their permit can be suspended and/or revoked by the Planning Director or his designee. Any such action would be subject to review by the Planning Commission to determine if the use can be reauthorized in the same manner as the original request, but subject to revised conditions. Review by the Commission would be at the applicant's expense based on the review fee applicable to the request at the time of review.

**20. Outdoor Fire Rings, Fire Places, Hot Tubs, & Spa Facilities:** If these outdoor facilities are provided, their use will only be allowed between the hours of 7:00 a.m. & 10:00 p.m. These hours must be posted along with any other established rules governing use of the amenity. It is recommended the rules include a reminder there should be **NO EXCESSIVE NOISE AT ANY TIME** and renters should be considerate of the residents that live around the rental dwelling they are staying at.

**☒ If these hours prove to be insufficient to protect the neighboring property owners from unwanted noise or smoke, they will be further restricted by staff. The additional restriction can include prohibiting use of the outdoor facility entirely by VRD tenants.**

### **FINAL STAFF RECOMMENDATION**

Conditionally approve application **22-025VRD** allowing the establishment of a Vacation Rental Dwelling (VRD) with a maximum occupancy of **ten (10) persons regardless of age at 781 Beach Dr.** This decision can be supported by the Commission adopting the findings, justification statements, and conclusions in this report subject to the previously stated conditions.

Although they are not conditions of approval, the following is a list of reminders to the applicant.

- This approval will become void one (1) year from the date of decision unless the permit is utilized or an extension of time is approved in the manner prescribed under the Seaside Zoning Ordinance.
- As with any permit, the applicant must meet all applicable standards in the Seaside Zoning Ordinance and any other applicable City of Seaside Ordinances.

*The information in this report and the recommendation of staff is not binding on the Planning Commission and may be altered or amended during the public hearing.*

**Attachments:**        Applicant's Submittal  
                              VRD Density Maps





**City of Seaside, Planning Department**

989 Broadway, Seaside, OR 97138 (503) 738-7100 Fax (503) 738-8765

**Land Use Application**

Kevin Cupples, Director

PLEASE PRINT OR TYPE

NAME OF APPLICANT Lisa and Lawrence "Larry" Brooks	ADDRESS 999 Gull Av, Foster City	ZIP CODE 94404
STREET ADDRESS OR LOCATION OF PROPERTY 781 Beach Dr., Seaside OR 97138		

ZONE R-3	OVERLAY ZONES -	TOWNSHIP 6	RANGE 10	SECTION 21DB	TAX LOT 06000
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**PROPOSED USE OF PROPERTY AND PURPOSE OF APPLICATION(S):**

Vacation Rental of second home.

(PLEASE INCLUDE THE APPROPRIATE PLOT PLAN.

IF ADDITIONAL SPACE IS NEEDED OR SUPPLEMENTAL INFORMATION IS REQUIRED PLEASE ATTACH)

<b>OWNER:</b>	<b>APPLICANT/REPRESENTATIVE (OTHER THAN OWNER):</b>
PRINT NAME OF PROPERTY OWNER Lisa and Lawrence "Larry" Brooks	PRINT NAME OF APPLICANT/REPRESENTATIVE
ADDRESS 999 Gull Av., Foster City, CA 94404	ADDRESS
PHONE / EMAIL 650-759-2815 / larrybrooksus@yahoo.com	PHONE AND EMAIL
SIGNATURE OF PROPERTY OWNER	SIGNATURE OF DULY AUTHORIZED APPLICANT/REPRESENTATIVE

**FOR CITY USE ONLY – DO NOT WRITE BELOW THIS LINE**

**CHECK TYPE OF PERMIT REQUESTED:**

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> CONDITIONAL USE         | <input type="checkbox"/> NON CONFORMING           | <input type="checkbox"/> SUBDIVISION                | <input type="checkbox"/> ZONING CODE AMENDMENT |
| <input type="checkbox"/> LANDSCAPE/ACCESS REVIEW | <input type="checkbox"/> PLANNED DEVELOPMENT      | <input type="checkbox"/> TEMPORARY USE              | <input type="checkbox"/> ZONING MAP AMENDMENT  |
| <input type="checkbox"/> MAJOR PARTITION         | <input type="checkbox"/> PROPERTY LINE ADJUSTMENT | <input checked="" type="checkbox"/> VACATION RENTAL | <input type="checkbox"/> APPEAL                |
| <input type="checkbox"/> MINOR PARTITION         | <input type="checkbox"/> SETBACK REDUCTION        | <input type="checkbox"/> VARIANCE                   | <input type="checkbox"/>                       |

<b>PLANNING DEPARTMENT USE:</b>	
DATE ACCEPTED AS COMPLETE 4-27-22	BY VF
CASE NUMBER (S) 22-025 VRD	
HEARING DATE JUNE 7, 2022	P.C. ACTION

<b>OFFICE USE:</b>	
FEE	RECEIPT
DATE FILED	BY



PAID

The City of Seaside requires approval for short term (less than 30 day) rental as an accessory use of certain types of residential property. These uses are referred to as vacation rental dwellings (VRDs) and they must be approved in accordance with the conditional use provision in Chapter 6.137 of the Seaside Zoning Ordinance (see attached). Although most requests can be reviewed by the Planning Director; in some cases, the requests require a public hearing before the City Planning Commission. In both cases, VRD applicants must provide the following information.

In addressing the following questions, additional information and supporting evidence can be referenced and attached to the submittal.

**SUBMITTAL INFORMATION**

1. **Applicant's Name:** Lisa and Lawrence "Larry" Brooks
2. **Mailing Address:** 999 Gull Av., Foster City, CA 94404
3. **Telephone #:** Home 650-759-2815, Work Same,  
Fax \_\_\_\_\_, E-Mail larrybrooksus@yahoo.com
4. **If the applicant is not the current owner, the applicant must also submit a signed statement from the owner that authorizes the VRD application.**
5. **VRD Street Address:** 781 Beach Dr., Seaside, OR 97138
6. **What is the total number of off-street parking spaces (9' X 18') that will be available for VRD occupant use?** 4 *The VRD ordinance states: One 9' X 18' off-street space will be provided for each bedroom in the unit, but in no event shall fewer than two spaces be provided.*
7. **How many bedrooms are in the dwelling?** 4. **Is the applicant requesting that all the bedrooms be used to calculate the maximum occupancy, and if not, how many are being proposed?** \_\_\_\_\_ **Please multiply the last number by three (3) to indicate the requested maximum occupancy for the VRD** 10. *The VRD ordinance states: The maximum number of occupants cannot exceed three persons (over the age of three) per bedroom; however, regardless of the number of bedrooms, no more than 10 can be allowed unless the building is protected by an approved sprinkler system. The maximum occupancy, along with good neighbor rules, shall remain posted inside the front door in a conspicuous place. It is the owner's responsibility to ensure the renters are aware of these limitations. The number of overnight renters or the maximum number of occupants may be reduced by the Code Enforcement Officer or Fire Marshal at the time of inspection for valid code reasons.*
8. **All off street parking spaces must be clearly indicated on the applicant's site plan. Will the existing parking spaces or any planned expansion of parking take up more than 50% of the property's yard areas?** No. *The VRD ordinance states: Front, side, and rear yards must maintain a residential appearance by limiting off street parking within yard areas. At least 50% of each yard area which is not occupied by buildings must be landscaped in some fashion so that parking will not dominate the yard.*
9. **Who will be acting as the local responsible party for the VRD owner?**

**Name:** Kindwyn Hoge **Phone #** 503-717-1142

**Address:** 1909 Huckleberry Dr., Seaside, OR 97138. *The VRD ordinance states: A local responsible party that permanently resides within the county must be identified by the owner. The responsible party will serve as an initial contact person if there are questions regarding*

ORIGINAL

20 CC  
500  
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950  
19009



the operation of the VRD. The owner shall provide the telephone number of the local contact person to the City, and to the immediate neighbors within the notification area (within 100' of the subject property).

10. What is the zone designation of subject property? R-3. The VRD ordinance states: Within the medium density residential (R-2) zones and high density residential (R-3) zones, if more than 20% of the dwelling units within 100' of the subject property are currently licensed for VRD use, a public hearing and review by the Planning Commission is required.

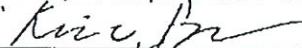
11. Provide a site plan, drawn to scale, which indicates the following: the actual shape and dimensions of the lot, the sizes and locations of buildings and off street parking spaces (existing & proposed). In addition to the site plan, a floor plan(s) must be included which clearly indicates the intended use of all interior areas (e.g. bedrooms, kitchen, living room, storage etc.).

12. The following is a list of standard conditions that apply to VRDs:

- Vacation rentals must comply with City ordinances regarding noise, smoke, dust, litter, odor, and solid waste collection. Weekly solid waste pick-up is required during all months.
- Prior to issuance of a vacation rental dwelling permit, the building in question must be inspected and be in substantial compliance with the Uniform Housing Code.
- It is the property owner's responsibility to assure that the vacation rental dwelling remains in substantial compliance with Oregon State requirements for the following: Health, Safety, Building, and Fire Codes; and Traveler's Accommodation Statutes, and with the Uniform Housing Code.
- Vacation rental dwelling permits are personal in nature and accordingly are not transferable. Upon transfer of the property, the new owner, if he or she desires, may apply for a new permit in accordance with the VRD ordinance.
- A City Business License is required and all transient room tax provisions apply to VRD's. The business license must be obtained prior to any rental of the property. Renewals must be made in January of the permit year. If the business license fee or the transient room tax payments are thirty (30) days past due, the VRD Permit will be revoked unless a written extension is granted by the Finance Director.
- Upon receipt of two written complaints from two or more occupants of different residences who claim to be adversely affected by the use of the property as a vacation rental dwelling, or by notice from the City Code Compliance Officer that requirements or conditions of approval are not being met, the Planning Department will work with the parties involved to settle any conflicts. If the problems are not resolved, the permit will be reviewed by the Planning Commission as provided in the VRD ordinance. Failure on the applicant's part to meet the standards or conditions will result in denial of the application. This would be in addition to any violation procedures specified in Article 12 of the Seaside Zoning Ordinance.

Has the owner or the duly authorized applicant read all the standard conditions and answered all of the questions honestly based on their understanding of the VRD request? Yes.

By signing this application, the applicant is also acknowledging that if the request requires review by the Planning Commission (Ordinance Provision 6.137E), the Applicant or a duly Authorized representative must attend the Public Hearing.

Applicant's Signature: , Date: 25 APR 2022

-----**For Office Use Only**-----

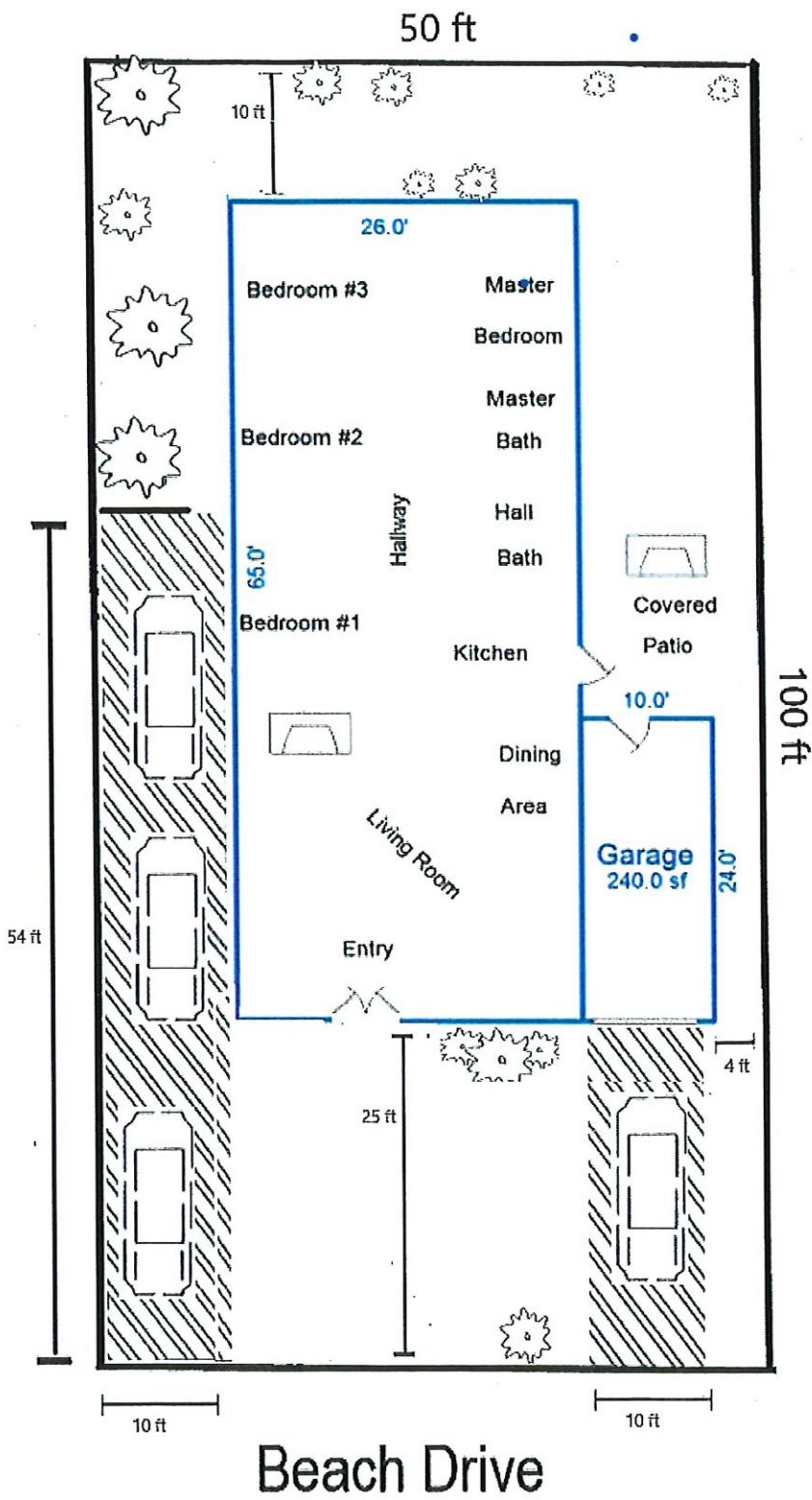
At the time of submittal, the applicant must pay the annual business license fee based on the proposed occupancy of the VRD: 1-5 occupants \$475.00, 6-10 occupants \$500.00, 11+ occupants 550.00. This fee must be accompanied by a one time filing fee of \$20.00.

In addition to the business license fee, a \$430.00 planning review fee must be submitted with this application. If the surrounding density of VRDs (see question 10) requires a Planning Commission review, an additional fee of \$240.00 must be paid before staff will schedule the public hearing to review the application.

If the VRD application is not approved, only the business license fee will be refunded.

Submittal Date: \_\_\_\_\_ Amount Paid: \_\_\_\_\_





SCALE=3/32" = 1'

AREA

Lot size	5000 sq. ft.
Footprint residential	1740 sq. ft.
Garage	240
Lot coverage	1980 or 39.6%

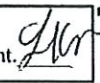
Beach Drive



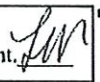
# VACATION RENTAL DWELLING PREFERRED CONTACT ACKNOWLEDGEMENT

*Property Owners: This form must be completed AFTER the final decision of the Planning Director or Planning Commission has been issued for your Vacation Rental Dwelling (VRD). Please ensure the preferred contact has read and understands the final decision and any conditions placed on your VRD. Please return this form to the City of Seaside by mail at 989 Broadway Seaside, OR 97138 or by e-mail to [cdadmin@cityofseaside.us](mailto:cdadmin@cityofseaside.us). If you have questions regarding this form please call 503-738-7100.*


**Property Address:** 781 Beach Dr., Seaside, OR 97138

Int. 

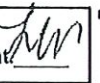
I certify that I am the preferred contact for the VRD located at the listed address and I understand the Planning Commission's expectation that I will be available 24 hours a day to address complaints associated with this VRD.

Int. 

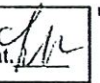
I understand I must respond to and take remedial action on any complaint at this VRD within a reasonable period of time. The Seaside Planning Commission has deemed a reasonable period of time to be two (2) hours.

Int. 

I understand that failure to respond to a neighbor's valid complaint within a reasonable period of time (2 hours) could result in a Planning Commission review of the VRD. The Seaside Planning Commission could place further restrictions on the VRD up to and including revocation of the property owner's VRD Conditional Use Permit.

Int. 

I understand that I am expected to maintain a **complaint response log** that will be made available to city staff or the Planning Commission upon request. The complaint log should include the date, time, subject matter of the complaint, name and contact information of the reporting person (if not anonymous), and the action taken to resolve the complaint.

Int. 

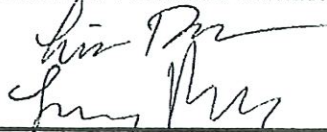
I understand and have read the conditions of approval for the VRD conditional use permit for the listed property. The conditions of approval apply to the listed property any time the dwelling is occupied and a member of the property owner's family is not present.

Lisa and Larry Brooks  
Name of the Preferred Contact

650-759-2815 and 650-759-4526  
Phone Number of the Preferred Contact

999 Gull AV Foster City, CA 94404  
Address of the Preferred Contact

larrybrooksus@yahoo.com  
E-mail Address of the Preferred Contact

X   
Signature of the Preferred Contact

25 APR 2022  
4-25-22  
Date





## VACATION RENTAL DWELLING LOCAL CONTACT ACKNOWLEDGEMENT

*Property Owners: This form must be completed by your Local Contact AFTER the final decision of the Planning Director or Planning Commission has been issued for your Vacation Rental Dwelling (VRD). Please ensure your local contact has read and understands the final decision and any conditions placed on your VRD. Please return this form to the City of Seaside by mail at 989 Broadway Seaside, OR 97138 or by e-mail to [cdadmin@cityofseaside.us](mailto:cdadmin@cityofseaside.us). If you have questions regarding this form please call 503-738-7100.*

Property Address: 781 Beach Drive Seaside Oregon 97138

- Int. KRH I certify that I am the local contact for the VRD located at the listed address and I understand the Planning Commission's expectation that I will be available 24 hours a day to address complaints associated with this VRD.
- Int. KRH I understand I must respond to and take remedial action on any complaint at this VRD within a reasonable period of time. The Seaside Planning Commission has deemed a reasonable period of time to be two (2) hours.
- Int. KRH I understand that failure to respond to a neighbor's valid complaint within a reasonable period of time (2 hours) could result in a Planning Commission review of the VRD. The Seaside Planning Commission could place further restrictions on the VRD up to and including revocation of the property owner's VRD Conditional Use Permit.
- Int. KRH I understand that I am expected to maintain a **complaint response log** that will be made available to city staff or the Planning Commission upon request. The complaint log should include the date, time, subject matter of the complaint, name and contact information of the reporting person (if not anonymous), and the action taken to resolve the complaint.
- Int. KRH I understand and have read the conditions of approval for the VRD conditional use permit for the listed property. The conditions of approval apply to the listed property any time the dwelling is occupied and a member of the property owner's family is not present.

Kindwyn Hoge

Name of the Local Contact

(503) 717-1142 Cell (503) 739-0

Phone Number of the Local Contact

1909 Huckleberry Drive Seaside

Address of the Local Contact

kindwyn@hotmail.com

E-mail Address of the Local Contact

X Kindwyn Hoge

Signature of the Local Contact

4/13/22

Date

RECORDED BY TICOR  
TITLE INS. CO. 360422001907

RECORDING REQUESTED BY:



2263 N Roosevelt Dr.  
Seaside, OR 97138

Recording Instrument #202203066  
Recorded By: Clatsop County Clerk  
# of Pages: 3 Fee: 97.00  
Transaction date: 04/25/2022 14:04:04  
Deputy: Myers

**GRANTOR'S NAME:**

Michael Meyer and Susan Meyer, Trustees of the Michael and Susan Meyer Trust, dated October 1, 2019

**GRANTEE'S NAME:**

Lawrence George Brooks and Lisa Kaye Brooks, Trustees of the Lisa and Larry Brooks Family Trust dated December 16, 2015

**AFTER RECORDING RETURN TO:**

Order No.: 360422001907-DP  
Lawrence George Brooks and Lisa Kaye Brooks, Trustees of the Lisa and Larry Brooks Family Trust dated December 16, 2015  
999 Gull Ave.  
Foster City, CA 94404

**SEND TAX STATEMENTS TO:**

Lawrence George Brooks and Lisa Kaye Brooks, Trustees of the Lisa and Larry Brooks Family Trust dated December 16, 2015  
999 Gull Ave.  
Foster City, CA 94404

APN: 12435  
Map: 61021Db06000

781 Beach Drive, Seaside, OR 97138-5501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**STATUTORY WARRANTY DEED**

Michael Meyer and Susan Meyer, Trustees of the Michael and Susan Meyer Trust, dated October 1, 2019, Grantor, conveys and warrants to Lawrence George Brooks and Lisa Kaye Brooks, Trustees of the Lisa and Larry Brooks Family Trust dated December 16, 2015, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Clatsop, State of Oregon:

Lot 13, Block 20, HERMOSA PARK, in the City of Seaside, County of Clatsop and State of Oregon.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS NINE HUNDRED FIVE THOUSAND AND NO/100 DOLLARS (\$905,000.00). (See ORS 93.030).

**Subject to:**

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.



STATUTORY WARRANTY DEED

(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: 4/22/22

Michael Meyer and Susan Meyer, Trustees of the Michael and Susan Meyer Trust, dated October 1, 2019

BY: Michael Meyer, Trustee  
Michael Meyer  
Trustee

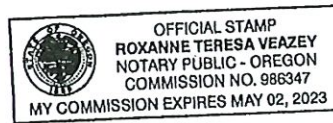
BY: Susan Meyer, Trustee  
Susan Meyer  
Trustee

State of OREGON  
County of Clatsop

This instrument was acknowledged before me on 4-22-2022 by Michael Meyer and Susan Meyer, Trustees of the Michael and Susan Meyer Trust, dated October 1, 2019.

Roxanne Vezzey  
Notary Public - State of Oregon

My Commission Expires: 5-2-2023



## EXHIBIT "A"

### Exceptions

#### Subject to:

1. Rights of the public to any portion of the Land lying within the area commonly known as Beach Drive.
2. Restrictions, but omitting restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said restriction is permitted by applicable law, as shown on that certain plat

Name of Plat: Hermosa Park  
Recording Date: May 18, 1897  
Recording No: Plat Book 3, page 24

3. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: April 29, 1910  
Recording No: Book 70, page 428

4. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Meyer Michael  
Purpose: Carport gutter  
Recording Date: February 22, 2022  
Recording No: 202201361  
Affects: Reference is hereby made to said document for full particulars



Google Maps 780 Beach Dr



Image capture: Jun 2016 © 2022 Google

← 781 Beach Dr

All Street View & 360°



## Density Analysis 781 Beach Dr

Tax Lot	Address
1	61021DB04600 141 Avenue G
2	61021DB04800 131 Avenue G
3	61021DB04900 770 S Columbia
4	61021DB05000 780 S Columbia
5	61021DB05100 820 S Columbia
6	61021DB05200 860 S Columbia
7	61021DB05800 841 Beach
8	61021DB05900 821 Beach
9	61021DB06100 761 Beach
10	61021DB06200 741 Beach
11	61021DB06500 741 S Prom
12	61021DB06600 740 Beach
13	61021DB06701 760 Beach
14	61021DB06800 780 Beach
15	61021DB06900 820 Beach
16	61021DB07000 840 Beach
17	61021DB07100 841 S Prom

**5 / 17 = 29.4%**

**Applicant**  
**VRD 100'**  
**VRD 200'**

Tax Lot	Address
18	61021AC12600 50 Avenue G
19	61021AC13500 680 S Columbia
20	61021AC13600 130 Avenue G
21	61021AC13601 671 Beach
22	61021DB03302 841 S Columbia
23	61021DB03700 881 S Columbia
24	61021DB03800 861 S Columbia
25	61021DB04000 821-831 S Columbia
26	61021DB04100 811 S Columbia
27	61021DB04200 781 S Columbia
28	61021DB04300 Tax Lot 04300
29	61021DB04500 721 S Columbia
30	61021DB05300 870 S Columbia
31	61021DB05400 130 Avenue I
32	61021DB05500 120 Avenue I
33	61021DB05600 881 Beach
34	61021DB05700 861-871 Beach
35	61021DB06300 111 Avenue G
36	61021DB06400 29 Avenue G
37	61021DB07100 860 Beach
38	61021DB07300 880 Beach
39	61021DB07500 821 S Prom
40	61021DB07600 781 S Prom
41	61021DB07800 721 S Prom
42	61021DB80001 757 S Prom
43	61021DB80002 761 S Prom

**12 / 43 = 27.9%**







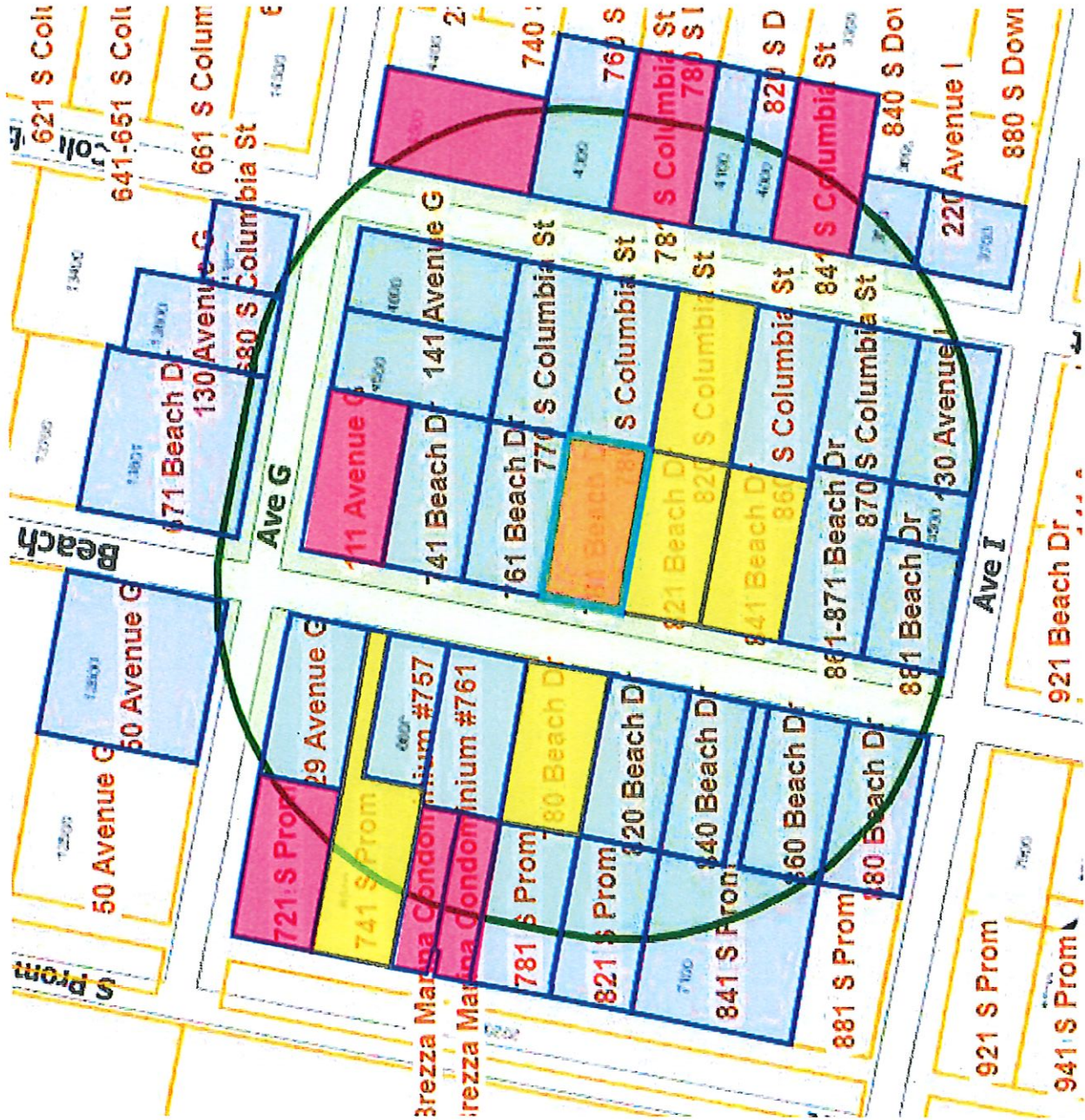
Applicant

Existing VRD  
100'

Existing VRD  
200'

# 781 Beach 200' Density Analysis

12 / 43 = 27.9%





# Memo



**To:** Seaside Planning Commission

**From:** Jeff Flory, Planning Director

**Date:** May 26, 2022 for Planning Commission Meeting on June 7, 2022

**Re:** VRD Policy Changes

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On April 19, 2022 the Seaside Planning Commission convened a work session to discuss Vacation Rental Dwelling (VRD) policies. Through that discussion, the Planning Commission developed suggested policy changes as it pertains to VRD densities, implementing an application waiting period, and extending the grace period. The Planning Commission will hold a public hearing in consideration of the following policy changes at the regularly scheduled Planning Commission Meeting on June 7, 2022.

- **VRD Density:** Increase the density for VRD applications on oceanfront properties from 50% to 100%. Decrease the density for VRD applications in the R-2 and R-3 zones from 40% to 30%. The density for properties on the west side of Beach Dr. from Avenue G south to S Edgewood St. will remain at 50%. VRD applications will no longer be supported east of the Necanicum river from 12th Ave. to the northern point of Neawanna St. (Please see the attached maps)
- **Waiting Period:** Implement a waiting period of 90 days after a property has been sold prior to accepting an application for a VRD conditional use permit. (Exception: If a property is a licensed VRD at the time of the sale or the property is in those areas where the density threshold is 100%, the applicant will not be subject to the waiting period. Implement a waiting period of 2 years on new construction after the property has been issued a certificate of occupancy by the Building Official.
- **Grace Period:** Extend the grace period from 60 days to 90 days that property managers and owners have to clear out existing reservations after a VRD conditional use permit has been voided.

It should be noted that VRD conditional use permits are personal in nature and non-transferrable. At the time a property that is a permitted VRD is sold, the VRD permit is voided. Currently permitted VRDs will not be subject to the proposed policy changes. However, if a permitted VRD is sold, the new owner of that property will be subject to the policies of the Planning Commission and City Council that are in place at the time of application.

Below are the proposed amendments to the current VRD policies that reflect the above policy changes.

## 2. VRD SPATIAL DISTRIBUTION:

The Planning Commission will not support the approval of a VRD Conditional Use Permit applications if more than ~~30%~~ 40% of the surrounding properties within 100' of an applicant's property are currently licensed as VRDs.

The Planning Commission has established a maximum percentage of VRDs that will be authorized within a set distance from an applicant's property. This policy avoids turning the majority of properties into transient rentals and maintains the integrity of the Medium Density (R-2) and High Density (R-3) residential zones. Although the percentage of second homes may be higher than this percentage in some areas, it doesn't mean every second home needs to be afforded an opportunity to allow transient rentals (rental for periods less than 30 days).

All VRD applications are reviewed with a density analysis that shows the percentage of VRD licensed properties within 100' of the applicant's exterior property lines.

Exceptions:

- I. This percentage does not apply within the Resort Residential (R-R) zone as motels are an outright permitted use in that zoning district.
- ~~II.~~ VRDs within the R-R zone will not be counted in the density analysis for applications for properties that border that zone for the purposes of determining if the surrounding percentage of VRDs exceeds ~~30%~~ 40%.
- ~~II.III.~~ The VRD density is increased to 100% for all properties with ocean frontage.
- ~~III.IV.~~ The VRD density is increased to 50% for properties in the following areas: on the ocean side of Beach Drive from the intersection of Beach Drive and South Edgewood Street north to the R-R zone at Avenue G.
  - ~~a.~~ Properties on the ocean side of Sunset Boulevard from the southern end of the road to The Cove parking lot.
  - ~~b.~~ All properties that abut Sunset Boulevard from The Cove parking lot to the intersection of Sunset Boulevard and Evergreen Drive, then continuing easterly along Sunset Blvd. up to the Sailors Grave.
  - ~~c.~~ All properties on the ocean side of Sunset Blvd. from the Sailors Grave to the intersection with South Edgewood Drive and along South Edgewood Dr to the intersection of Beach Drive.
  - ~~d.~~ All properties on the ocean side of Beach Drive from the intersection of Beach Drive and South Edgewood Drive north to the R-R zone at Avenue G.
  - ~~e.~~ Properties at the end of the R-R zone at 12th Avenue along the ocean front area that abut the platted portion of Ocean Avenue to 15th Avenue.
  - ~~f.~~ Properties on the ocean side of North Columbia that abut the platted portion of North Prom to 19th Avenue where it reaches the Open Space Park (OPR) zone.



## 6. APPLICATION PROCESS:

VRD applications must reflect the dwelling unit the applicant is applying to transient rent. Applications will not be accepted until certain conditions for the dwelling unit are met. VRD applicants must be the owner of record for the subject property with the exception of the applicant applying, with the property owner's permission, and the property owner is to retain ownership of said property.

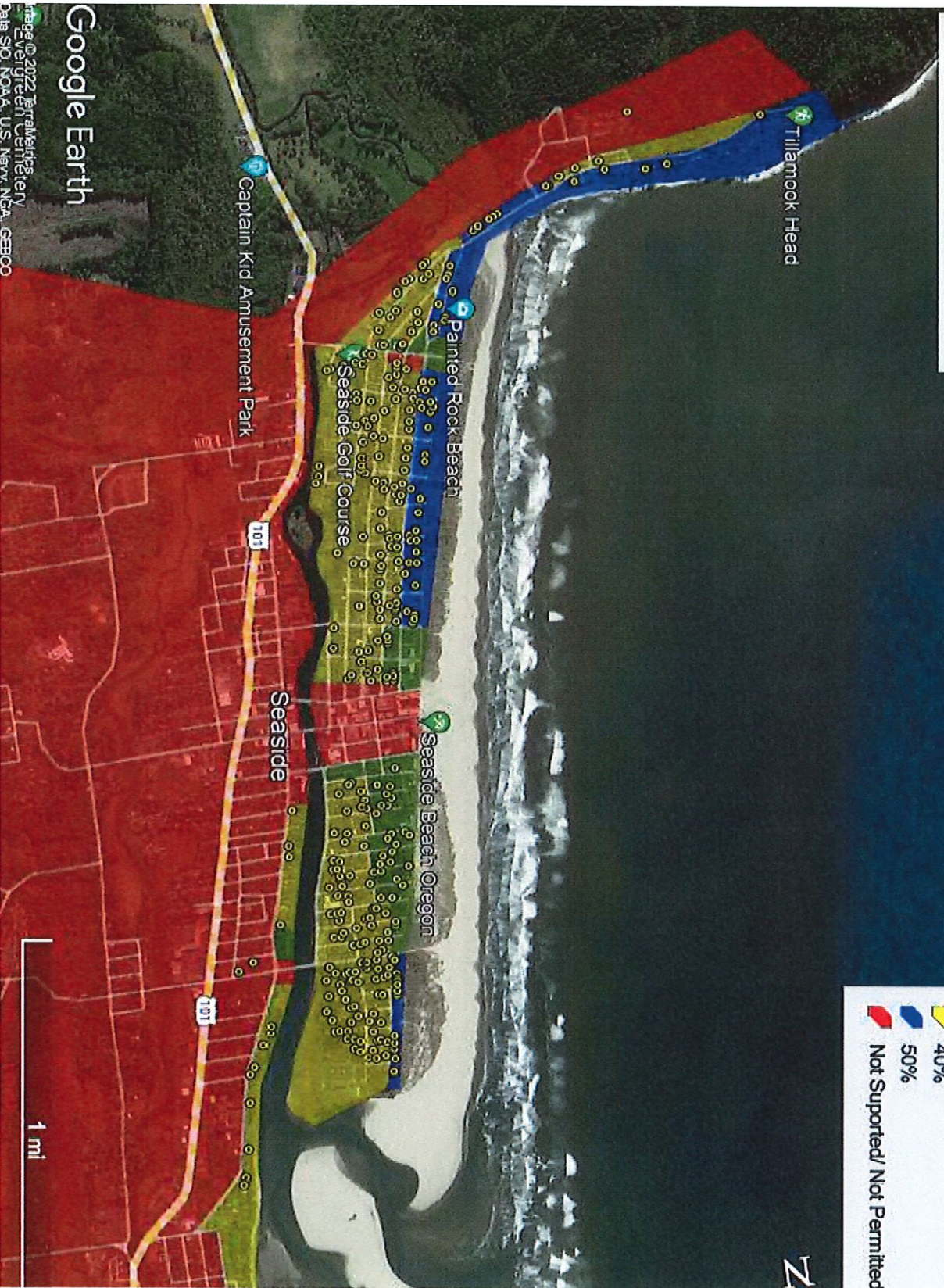
- I. ~~VRD applications will not be accepted~~ VRD applications on newly constructed dwellings will require a 2-year waiting period once until all of the building permits have an approved final inspection and the certificate of occupancy is issued by the Building Official.
- II. VRD applications will not be accepted on existing dwellings undergoing a significant remodel that could change the occupancy allowed by current VRD standards. VRD applications can be submitted once all of the building permits have an approved final inspection by the Building Official.
- III. An existing owner of a VRD may apply for a review of their conditional use permit to expand their VRD occupancy prior to the completion of the remodel of their dwelling. The applicant must submit plans for the expansion, and if approval is granted, the final inspection must show the work done to the dwelling substantially matches the plans that were used as the basis for the conditional use permit approval.
- IV. VRD applications will not be accepted pursuant to a purchase contract for a property. The VRD application will be accepted after a 90-day waiting period that begins once the purchase contract is final and the applicant has taken possession of the property. Exceptions: If a property is a licensed VRD at the time of the sale or, the property is in those areas where the density threshold is 100%, the applicant will not be subject to the waiting period.

## 9. STANDARD CONDITIONS OF APPROVAL:

17. **Grace Period:** If a currently licensed VRD sells to another party, staff is allowed to grant a temporary grace period of not more than ~~90~~ 60 days in which current bookings can be cleared without being recognized as a violation. The manager or owner must provide staff with a list of the bookings during the grace period and no additional bookings can be taken during that time



# Current VRD Density



Google Earth

Image © 2022 TerraMetrics  
Map data © OpenStreetMap contributors,  
DigitalGlobe, GeoEye, IGN, AerGRID, Airbus,  
Data SIO, NOAA, U.S. Navy, NGA, GEBCO



# Proposed VRD Density

